



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY FEBRUARY 28, 2024 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- A.** Roll Call
- B.** Review and Approval of the Minutes of the Regular Meeting of **January 24, 2024**
- C.** Chairpersons’ Comments
- D.** Review of the Agenda
- E.** Meeting Open to the Public for Items Not on the Printed Agenda
- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Community Impact Studies
- I.** Special Land Use Permits
 - 1. **245 S. Eton – Big Rock – Public Hearing for Special Land Use Permit Amendment request for small addition to south side of building**
- J.** Site Plan & Design Reviews
 - 1. **245 S. Eton – Big Rock – Public Hearing for Final Site Plan & Design Review request for small addition to south side of building**
- K.** Study Session
 - 1. **The Birmingham Plan 2040 – Prioritization of Key Actions**
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - 3. Administrative Approval Correspondence
 - i. **January 19, 2024 – February 23, 2024**
 - 4. Draft Agenda – **March 13, 2024**
 - 5. Action List – **2023/2024**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight’s Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/111656967>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk’s Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

City Of Birmingham
Regular Meeting Of The Planning Board
January 24, 2024
City Commission Room
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on January 24, 2024. The meeting was convened at 7:30 p.m.

A. Roll Call

Present: Chair Scott Clein, Vice Chair Bryan Williams; Board Members Bert Koseck, Daniel Share, Janelle Whipple-Boyce; Alternate Board Member Nasseem Ramin

Absent: Board Member Robin Boyle, Stuart Jeffares; Alternate Board Members Jason Emerine

Staff: Planning Director Dupuis; Planning Intern Aldred, City Planner Blizinski, Senior Planner Cowan, City Transcriptionist Eichenhorn

B. Approval Of The Minutes Of The Regular Planning Board Meeting of January 10, 2024

01-03-24

Motion by Mr. Share

Seconded by Mr. Williams to approve the minutes of the Regular Planning Board meeting of January 10, 2024 as presented.

VOICE VOTE

Yeas: Ramin, Emerine, Share, Boyle, Koseck, Jeffares

Nays: None

C. Chair's Comments

The Chair welcomed everyone to the meeting and reviewed the meeting's procedures.

D. Review Of The Agenda

E. Meeting Open to the Public for Items Not on the Printed Agenda

F. Unfinished Business/Courtesy Review

G. Rezoning Applications

H. Community Impact Study and Site Plan Review

I. Special Land Use Permits

J. Site Plan & Design Reviews

- 1. 720 S. Adams – Request for Preliminary Site Plan Review for New 5-Story Mixed-Use Building in the Triangle District (Postponed from December 13, 2023)**

SP Cowan presented the item and answered informational questions from the Board.

John Marusich, architect, spoke on behalf of the project.

Public Comment

Staff answered an informational question from Bob Krausman.

Board member comments were as follows:

- It would be necessary to ensure that light posts did not block the access into the loading zone area;
- The applicant should reevaluate the vehicular aspects of the project to provide more space than the minimum necessary clearances; and,
- One Board member commented that the facade seemed a bit heavy near the balcony areas.

01-04-24

Motion by Mr. Share

Seconded by Mr. Williams to approve the Preliminary Site Plan for 720 S. Adams with the following conditions:

- 1. The applicant must provide a LEED scoresheet for verification of LEED credentials for Final Site Plan review;**
- 2. The applicant adjusts the parking area so that columns do not interfere with access to parking spaces;**
- 3. The applicant satisfy the provisions of Section 3, Article 3.08(E) to obtain additional building height;**
- 4. The applicant submit lighting and material specifications, samples, photometric plan and all other required information for the proposed building to complete the Design Review at Final Site Plan; and,**
- 5. The applicant comply with the requests of all City Departments.**

VOICE VOTE

Yeas: Ramin, Clein, Williams, Share, Koseck, Whipple-Boyce

Nays: None

2. 295 Elm – Forest Townhouses – Request for Final Site Plan and Design Review for New Single Family Attached Development in the Triangle District

CP Blizinski presented the item.

Mr. Marusich, architect, spoke on behalf of the project.

01-05-24

Motion by Mr. Williams

Seconded by Ms. Whipple-Boyce to approve the Final Site Plan and Design Review for 295 Elm St. – Forest Townhomes – with the following conditions:

- 1. The applicant must submit a photometric plan that shows that light intensity does not exceed the permitted levels at all property lines; and,**

2. The applicant must comply with the requests of all City Departments.

VOICE VOTE

Yeas: Ramin, Clein, Williams, Share, Koseck, Whipple-Boyce

Nays: None

3. 294 E. Brown – Brown St. Mixed-Use – Request for Design Review for Changes to Building Facade

PD Dupuis presented the item and answered informational questions from the Board.

Victor Saroki, architect, spoke on behalf of the project and answered questions from the Board.

After brief discussion, the Board agreed that the proposed changes posed no issues and that the Board was fully in support of the proposed height change.

01-06-24

Motion by Mr. Share

Seconded by Mr. Williams to approve the Design Review application for 294 E Brown St. with the following conditions:

- 1. The applicant will be required to submit a revised photometric plan demonstrating light intensity in foot-candles at the property line;**
- 2. The applicant must comply with the requests of all City Departments; and,**
- 3. Although the Planning Board believes the location and height of elevator shaft are both acceptable and desirable, that the applicant obtain the approval from the Building Official that the approximately two foot height by which the elevator shaft exceeds 68 feet as permitted under the zoning ordinance.**

VOICE VOTE

Yeas: Ramin, Clein, Williams, Share, Koseck, Whipple-Boyce

Nays: None

01-07-24

Motion by Mr. Williams

Seconded by Ms. Whipple-Boyce to consider Item L(1)(i) before Item K(1).

VOICE VOTE

Yeas: Ramin, Clein, Williams, Share, Koseck, Whipple-Boyce

Nays: None

L. Miscellaneous Business and Communications

1. Pre-Application Discussions

- i. 479 S. Old Woodward – Tandem Parking**

Citing a potential conflict of interest since her employer was a prospective tenant of the building, Ms. Ramin recused herself and left the room at 8:51 p.m.

SP Cowan presented the proposal. Duraid Markus spoke on behalf of the proposal.

Board consensus was that the request should be administratively approved. It was noted this was site-specific and was for four different spaces dedicated to two different units in the building.

K. Study Session

1. The Birmingham Plan 2040 – Prioritization of Key Actions

PD Dupuis presented the item. Staff answered informational questions from the Board.

Board members' individual comments were as follows:

- Priorities could include addressing parking throughout the City in a comprehensive manner, exploring ways to make Woodward safer and less physically divisive, and changing ordinances to promote aging in place and home modifications instead of teardowns;
- Getting an outside consultant to make recommendations regarding parking would likely be appropriate;
- Zoning changes to promote home modifications over teardowns should be on the Planning Board's list;
- Staff should return with a list of zoning ordinance updates that could occur with little further study, and a list of planning topics that will require further study. Staff could also return with a proposed high-level timeline for addressing the latter items;
- The Board should determine and begin work on its higher-impact, higher-priority issues in order to ensure that progress is gradually made on those items;
- The memo to the other boards should say something to the effect of 'The Planning Board would like to know what you think', the tone should be modified to be a bit friendlier;
- The memo to the other boards should have 'and input' added to 'It is attached for your review';
- A joint meeting between the Multi-Modal Transportation Board and the Planning Board to discuss Woodward would likely be appropriate in the near future; and,
- The Planning Board would be interested in holding joint meetings with any other interested boards as well.

L. Miscellaneous Business and Communications (CONT'D)

2. Communications

i. Project Updates

3. Administrative Approval Correspondence

4. Draft Agenda

Meeting scheduling was briefly discussed.

5. Action List

6. Other Business

M. Planning Division Action Items

a. Staff Report on Previous Requests
b. Additional Items from tonight's meeting

N. Adjournment

No further business being evident, the meeting was adjourned at 9:42 p.m.

A blue ink signature, appearing to read "Nick Dupuis", written in a cursive style.

Nick Dupuis, Planning Director

A black ink signature, appearing to read "Laura Eichenhorn", written in a cursive style.

Laura Eichenhorn, City Transcriptionist

DRAFT



MEMORANDUM

Planning Division

DATE: February 28, 2024

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 245 S. Eton – Big Rock – Special Land Use Permit Amendment (SLUP), Final Site Plan & Design Review – Public Hearing

The applicant has submitted a Special Land Use Permit Amendment, Final Site Plan and Design Review application for a new addition to the historic Birmingham Grand Trunk Western Railroad Depot building. The subject site is located on the east side of S. Eton, south of Maple.

On July 12, 2023 ([Agenda](#) – [Minutes](#)), the Planning Board moved to recommend approval of a Special Land Use Permit, Final Site Plan and Design Review application to the City Commission for a new food and drink establishment serving alcoholic liquors for on premise consumption with minor changes to the building/site. On August 28, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to approve the Special Land Use Permit, Final Site Plan and Design Review as presented.

On February 21, 2024 ([Agenda](#)), the Historic District Commission (HDC) reviewed the proposal a second time after postponing the application to offer the applicant an opportunity to revise the site/design plans to better differentiate the addition from the original historic building per the [Secretary of the Interior's Standards for Rehabilitation](#). The HDC moved to again postpone the project and requested that the new design that was proposed by the applicant, which is the one that is attached to this report, be formally reviewed by the HDC for approval. **The applicant must gain Design Review approval from the HDC before the public hearing at the City Commission.**

The Birmingham Code of Ordinances states that a contract for transfer and a Special Land Use Permit are required for all licenses approved under Chapter 10 – Alcoholic Liquors. The licensee must comply with all provisions of the contract and Special Land Use Permit, and any amendments thereto as a condition of granting of a requested transfer. Accordingly, the applicant must obtain a recommendation from the Planning Board on the Special Land Use and Final Site Plan/Design Review application, which is then reviewed for final consideration by the City Commission.

1.0 Land Use and Zoning

- 1.1 Existing Land Use – The existing site is a vacant two-story commercial building, which is a designated historic resource.
- 1.2 Existing Zoning – B2B (General-Business)
- 1.3 Summary of Adjacent Land Use and Zoning – The following chart summarizes the existing land use and zoning adjacent to and/or in the vicinity of the subject site.

	North	South	East	West
Existing Land Use	Public Property	Commercial/ Residential	Public Property	Residential
Existing Zoning District	PP (Public Property)	MX (Mixed-Use)	PP (Public Property)	R6 (Multiple-Family Residential)
Overlay Zoning District	N/A	N/A	N/A	N/A

2.0 Setback and Height Requirements

There are no issues with the bulk, area or placement of the proposed addition.

3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The existing dumpster enclosure is not proposed to change as a part of the Special Land Use Permit Amendment, Final Site Plan and Design Review application submitted.
- 3.2 Parking Lot Screening – There are no changes proposed to the existing parking lot or existing capped masonry screen wall. The existing screen wall appears to meet current ordinances.
- 3.3 Mechanical Equipment Screening – There are no changes proposed to the previously approved mechanical screening enclosures on site. However, there is a new screening enclosure proposed behind the pitched roof of the addition that will house one new mechanical unit that appears to be fully screened.
- 3.4 Landscaping – There are no changes proposed to most of the previously approved landscaping on site. However, there are minor modifications at the south end that meet the requirements of the Zoning Ordinance.

- 3.5 Streetscape – There are no new streetscape items proposed as a part of this Special Land Use Permit Amendment and Final Site Plan/Design Review application.

4.0 Parking, Loading and Circulation

- 4.1 Parking – Please see the below breakdown of the parking required for the Big Rock, as well as the other sites that utilize the nearby private parking structure (figures derived from [December 16, 2021](#) parking analysis from the District Lofts Phase III review and updated with more specific Big Rock figures). The addition provides the Big Rock Chophouse with an additional 421 sq. ft. of area to consider, which brings the total square footage of the food and drink establishment to 12,621 sq. ft.:

Property	Required Off-Street Parking
Big Rock Chophouse	168
2051 Villa (Building A)	49
375 S. Eton (Building B)	56
325 S. Eton (Building C)	73
FAR Overages	57
Total Required	403
Total Provided	403

- 4.2 Loading – There are no changes proposed to most of the previously approved landscaping on site. The new addition will not interfere with the designated loading area.
- 4.3 Vehicular Circulation and Access – Vehicular circulation and access is not proposed to change. The site will retain the existing drive approach from S. Eton, as well as the existing circular drive and parking facility.
- 4.4 Pedestrian Circulation and Access – Pedestrian circulation and access is not proposed to change. The site will retain the existing pedestrian walkways and main pedestrian entrance.

5.0 Lighting

There are no new light fixtures proposed as a part of the Special Land Use Permit Amendment, Final Site Plan and Design Review application submitted.

6.0 Design Review

As noted above, the Historic District Commission performed a historic Design Review for the proposal, which is summarized below. Each item has also been re-reviewed for

applicability to other sections of the Zoning Ordinance that the HDC may not have considered.

Façade: There are no changes proposed to the main façade of the building. The addition is proposed to be constructed of brick to match the elevator shaft, northern addition, and dumpster enclosure (notably, the brick would not replicate the historic brick) as well as board and batten features and metal screening painted to match the existing stucco on the building. The roof is proposed to be a standing seam zinc roof. There are no specific architectural standards that are required to be met in this zoning district.

Outdoor Dining: In a change to the original SLUP approval, the applicant is now proposing to significantly reduce the outdoor dining patio located south side of the building, which will now maintain the existing valet stand, landscaped area and covered walkway. This new patio will contain 11-seats and will no longer have a pergola.

Overall, the applicant is required to familiarize themselves with the Outdoor Dining Standards outlined in Article 4, Section 4.44 of the Zoning Ordinance. Some design-related standards that should be discussed in this report are:

1. Outdoor dining facilities shall provide and service refuse containers within the outdoor dining facility and maintain the area in good order. Public trash receptacles are not permitted to be utilized by outdoor dining facilities.
 - The site plans submitted do not show a trash receptacle within either of the outdoor dining facilities.
2. Outdoor dining facilities shall not contain enclosures as defined in Article 9, Section 9.02 of the Zoning Ordinance.
 - Enclosure is defined as “a vertical wall, panel, or other material that extends above 42 in. in height which provides extended relief from weather and impedes physical and/or visual access to the outdoor dining space. For the purposes of this definition, enclosure does not include exterior building walls.” The applicant is proposing a 42 in. evergreen hedge that meets this requirement.

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7.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	☒	☐	☐
Detailed and Scaled Site Plan	☒	☐	☐
Certified Land Survey	☐	☐	☒
Interior Floor Plans	☒	☐	☐
Landscape Plan	☒	☐	☐
Photometric Plan	☐	☐	☒
Colored Elevations	☒	☐	☐
Material Specification Sheets	☒	☐	☐
Material Samples	☒	☐	☐
Site & Aerial Photographs	☒	☐	☐

8.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.
- (2) The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.
- (3) The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.
- (4) The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.
- (5) The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
- (6) The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

In addition, Article 7, Section 7.26 requires applications for a Special Land Use Permit to meet the following criteria:

- (1) The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.
- (2) The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.
- (3) The use is consistent with the public health, safety and welfare of the city.
- (4) The use is in compliance with all other requirements of this Zoning Ordinance.
- (5) The use will not be injurious to the surrounding neighborhood.
- (6) The use is in compliance with state and federal statutes.

9.0 Recommendation

Based on a review of the site plan submitted, the Planning Division recommends that the Planning Board recommend **APPROVAL** of the Special Land Use Amendment and Final Site Plan/Design Review application for 245 S. Eton – Big Rock – subject to the following conditions:

1. The applicant must gain Design Review approval from the HDC before the public hearing at the City Commission; and
2. The applicant must comply with the requests of all City Departments.

10.0 Sample Motion Language (*Final Site Plan & Design Review*)

Motion to recommend for **APPROVAL** the Final Site Plan & Design Review for 245 S. Eton – Big Rock – subject to the following conditions:

1. The applicant must gain Design Review approval from the HDC before the public hearing at the City Commission; and
2. The applicant must comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Final Site Plan & Design Review for 245 S. Eton – Big Rock – pending receipt of the following:

1. The applicant must gain Design Review approval from the HDC before the public hearing at the City Commission; and
2. The applicant must comply with the requests of all City Departments.

OR

Motion to recommend for **DENIAL** to the City Commission the Final Site Plan & Design Review for 245 S. Eton – Big Rock – for the following reasons:

1. _____
2. _____
3. _____

11.0 Sample Motion Language (*Special Land Use Permit Amendment*)

Motion to recommend for **APPROVAL** to the City Commission the Special Land Use Permit Amendment for 245 S. Eton – Big Rock – subject to the conditions of Final Site Plan & Design Review approval.

OR

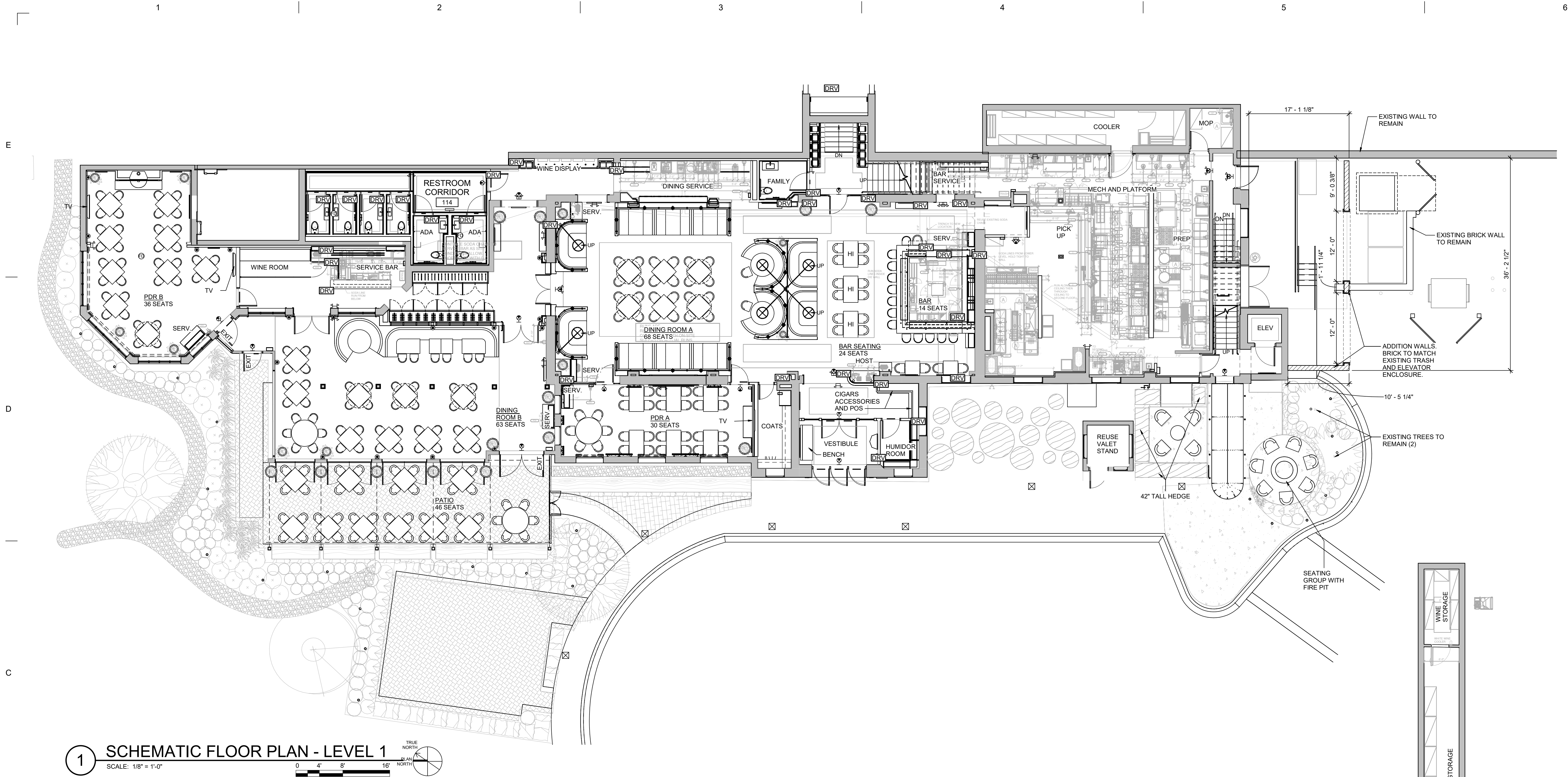
Motion to **POSTPONE** the Special Land Use Permit Amendment 245 S. Eton – Big Rock – pending receipt of the following:

1. The; and
2. The applicant must comply with the requests of all City Departments.

OR

Motion to recommend for **DENIAL** to the City Commission the Special Land Use Permit Amendment for 245 S. Eton – Big Rock – for the following reasons:

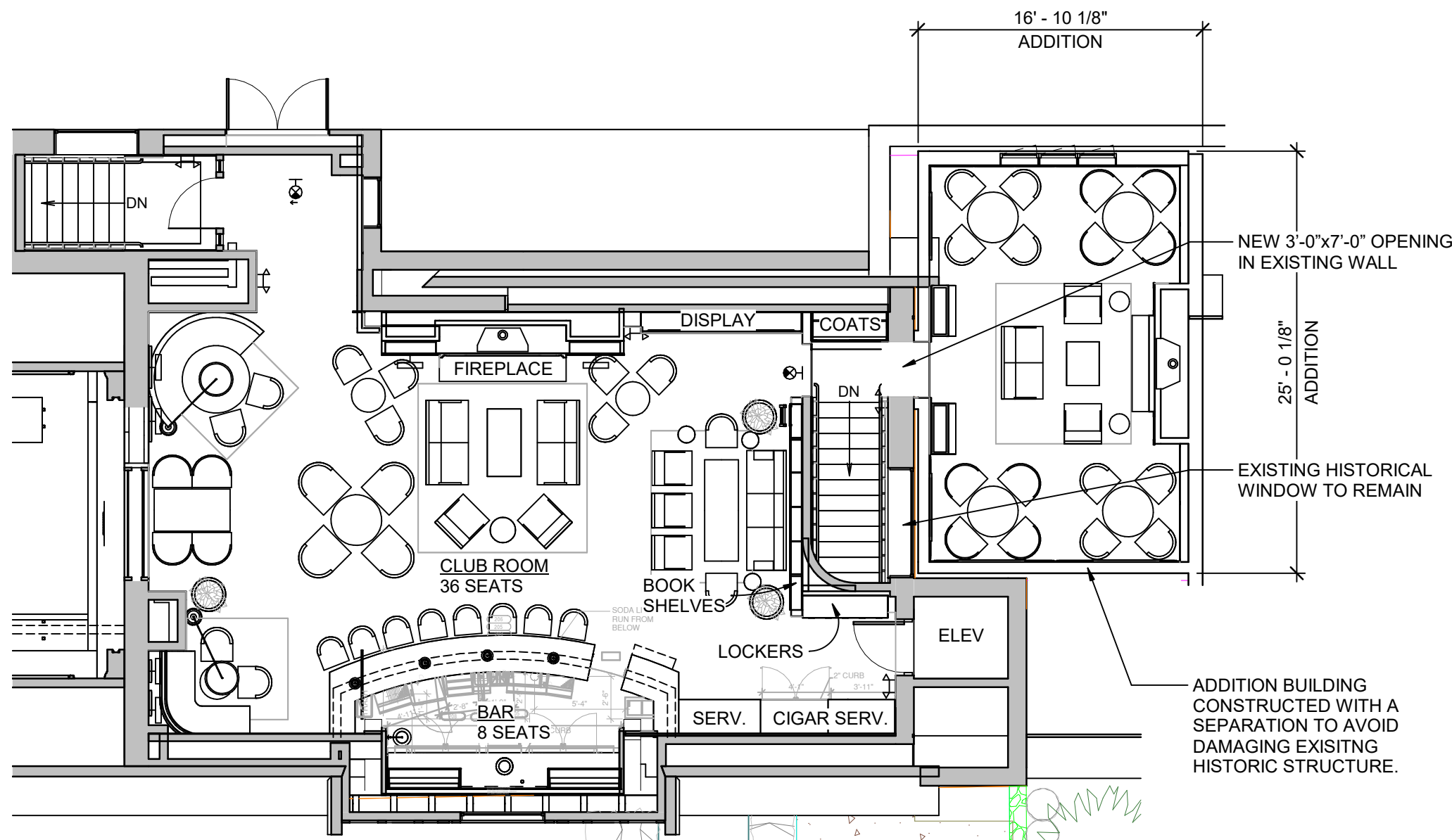
1. _____
2. _____
3. _____



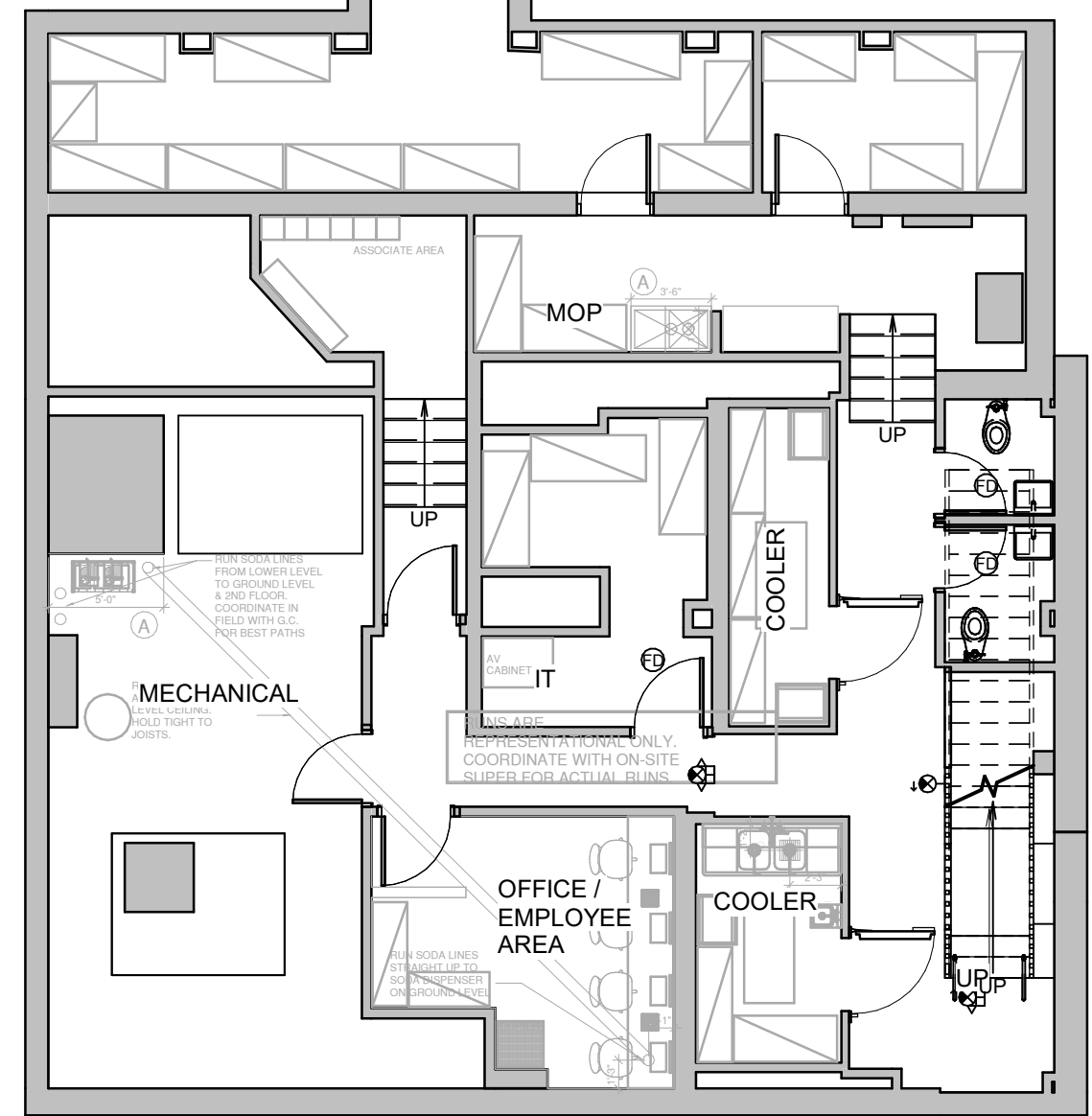
1 SCHEMATIC FLOOR PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"



2 SCHEMATIC FLOOR PLAN - TUNNEL
SCALE: 1/8" = 1'-0"



3 SCHEMATIC FLOOR PLAN - MEZZ
SCALE: 1/8" = 1'-0"



4 SCHEMATIC FLOOR PLAN - LL
SCALE: 1/8" = 1'-0"

KNAUER

Knauer Incorporated
226 Green Bay Road
Highwood, IL 60040
(847) 948.9500
www.knauerinc.com

SEATING COUNT TABLE

TYPE	COUNT	TOTAL
4 TOP	4	= 16
LOUNGE CHAIR	2	= 2
SOFA	1	= 2
		20
BAR SEATING		
4 TOP	5	= 20
4 TOP U-BOOTH	2	= 8
BAR STOOL	13	= 13
BAR SEATING		41
CLUB ROOM		
4 TOP	5	= 20
5 TOP	1	= 5
6 TOP	1	= 6
BAR STOOL	8	= 8
LOUNGE CHAIR	5	= 5
SOFA	2	= 4
CLUB ROOM		48
COVERED PATIO		
4 TOP - PATIO	10	= 40
6 TOP - PATIO	1	= 6
COVERED PATIO		46
DINING ROOM B		
12 TOP	2	= 4
4 TOP	9	= 36
5 TOP	2	= 10
5 TOP - ROUND BOOTH	1	= 5
15 TOP	1	= 6
DINING ROOM B		61
MAIN DINING ROOM		
4 TOP	6	= 24
4 TOP PULLMAN BOOTH	6	= 24
4 TOP U-BOOTH	2	= 8
6 TOP	2	= 12
MAIN DINING ROOM		68
PDR A		
4 TOP	6	= 24
6 TOP	1	= 6
PDR A		30
PDR B		
4 TOP	9	= 36
PDR B		36
TUNNEL		
LOUNGE CHAIR	8	= 8
TUNNEL		358
TOTAL DINING		358

	02/22/2024	ISSUED FOR HDC SUBMISSION
	01/18/2024	ISSUED FOR HDC SUBMISSION
	10/20/2023	ISSUED FOR HDC SUBMISSION
	06/09/2023	ISSUED FOR PLANNING DEPT. REV.
	06/09/2023	ISSUED FOR DESIGN DEVELOPMENT
	03/24/2023	DESIGN REVIEW - PLANNING
MARK	DATE	DESCRIPTION
ISSUED		

SCHEMATIC DESIGN FOR
BIG ROCK

245 S ETON STREET
BIRMINGHAM, MI 48009

PROJECT NO: 3672

CAD DWG FILE: C:\Users\jamesr\Documents\3672 Big Rock_552_jamesr\BIGAT.rvt

DRAWN BY: Author

CHECKED BY: Checker

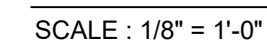
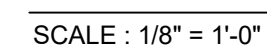
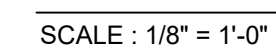
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THE WRITTEN CONSENT OF KNAUER INCORPORATED.

SCALE: DRAWING SCALE MAY VARY. REFER
TO EACH DRAWING FOR ITS SCALE.

SHEET TITLE

SCHEMATIC FLOOR
PLAN

A-1.1

—SEATING GROUP WITH
FIBERIT

SCALE: 0 4' 8' 16'

$1/8" = 1'-0"$

A-2

E

D

C

B

A

N56° 34'45"E
16.90'

SIGNAGE
ROCK TO REMAIN AND RECEIVE
UPDATED LETTERING OF SAME
SIZE

EXISTING
PATIO TO
REMAIN.
GAS AND
POWER TO
REMAIN.

CANOPY SIGNAGE - SEE SIGN
CONSULTANT
DOCUMENTATION

SIGNAGE -
ROCK TO REMAIN AND RECIEVE
UPDATED LETTERING OF SAME
SIZE

ADDITION

LOADING ZONE

EXISTING
ELECT.
TOWER

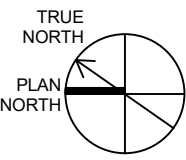
FIRE PIT

CANOPY

ETON ROAD (WIDTH VARIES-PUBLIC)

UNIT 2
PR. BUILDING
ZONED: MX

1 ARCHITECTRUAL SITE PLAN
SCALE: 1/16" = 1'-0"



KNAUER

Knauer Incorporated
226 Green Bay Road
Highwood, IL 60040
(847) 948.9500
www.knauerinc.com

1	01/11/2024	BID BULLETIN - 01
	10/06/2023	ISSUED FOR BID
	09/19/2023	ISSUED FOR PERMIT COMMENTS
	08/22/2023	ISSUED TO LANDLORD
	08/03/2023	ISSUED FOR PERMIT

MARK	DATE	DESCRIPTION
ISSUED		

PERMIT SET
BIG ROCK

245 S ETON STREET
BIRMINGHAM, MI 48009

PROJECT NO: 3672

CAD DWG FILE: C:\Users\jgansler\Documents\3672 Big
Rock_R52_jgansler\BIGAT.rvt

DRAWN BY: Author

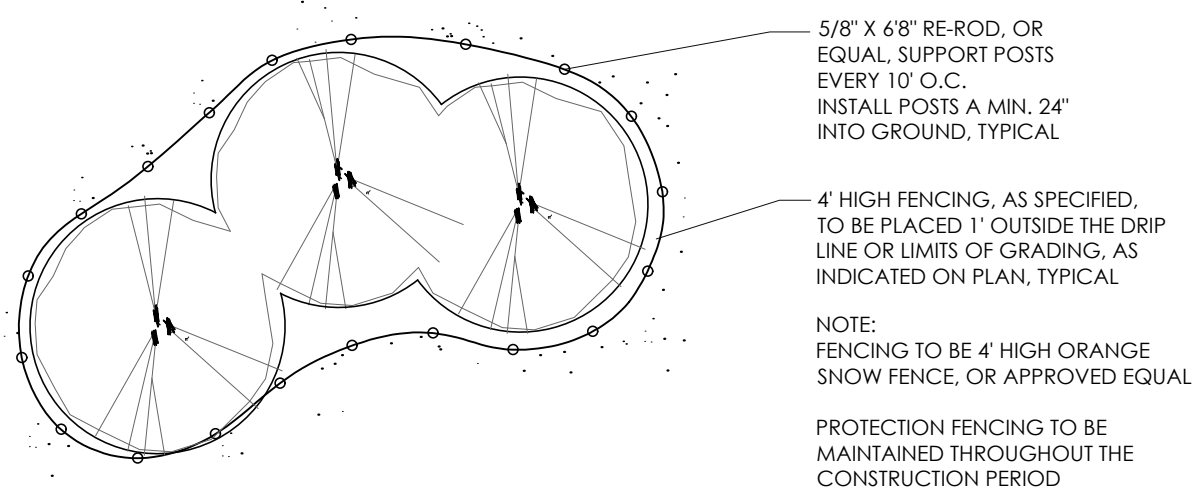
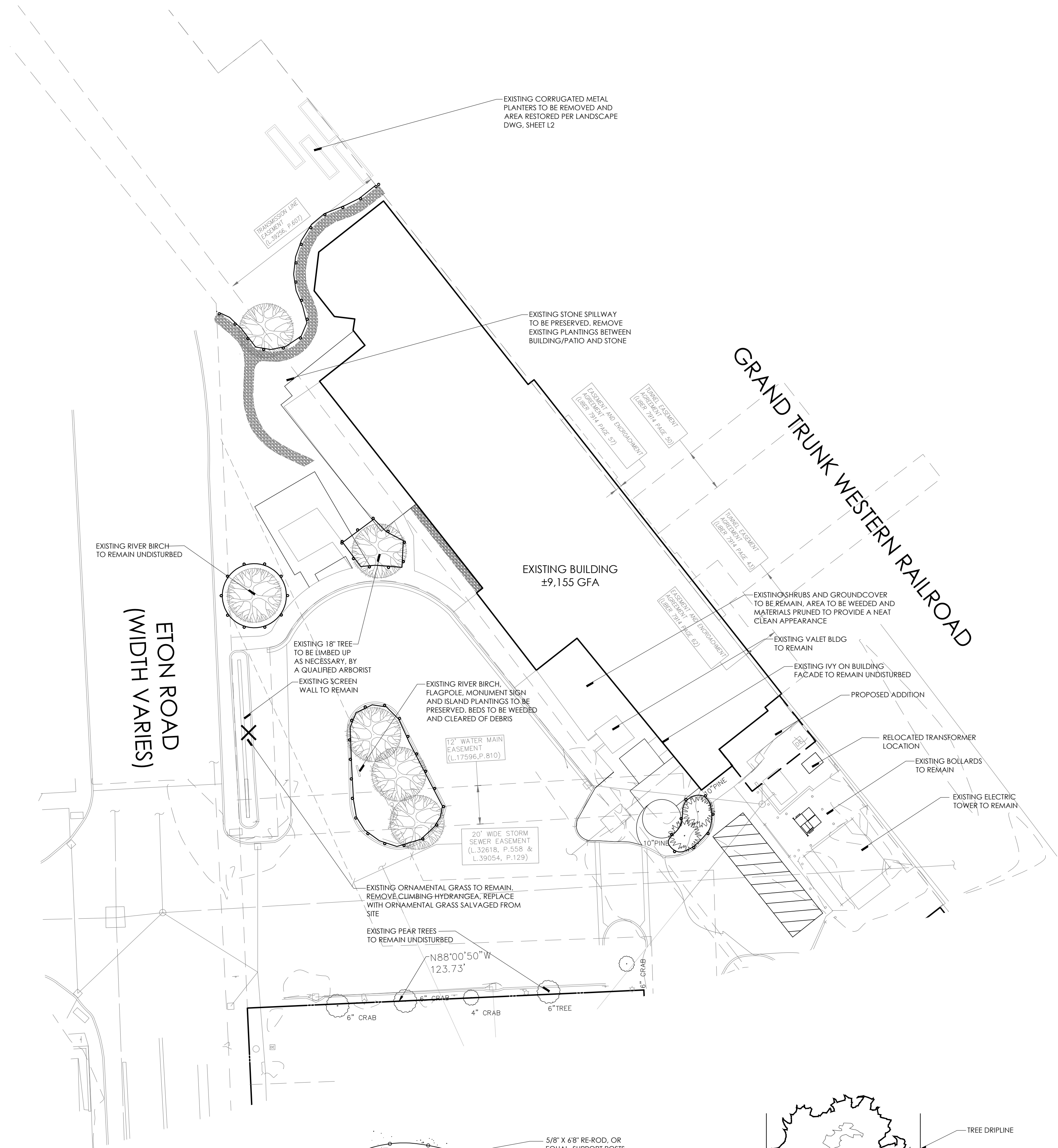
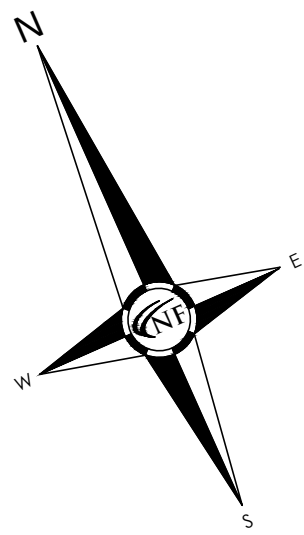
CHECKED BY: Checker

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SCALE: DRAWING SCALE MAY VARY. REFER
TO EACH DRAWING FOR ITS SCALE.

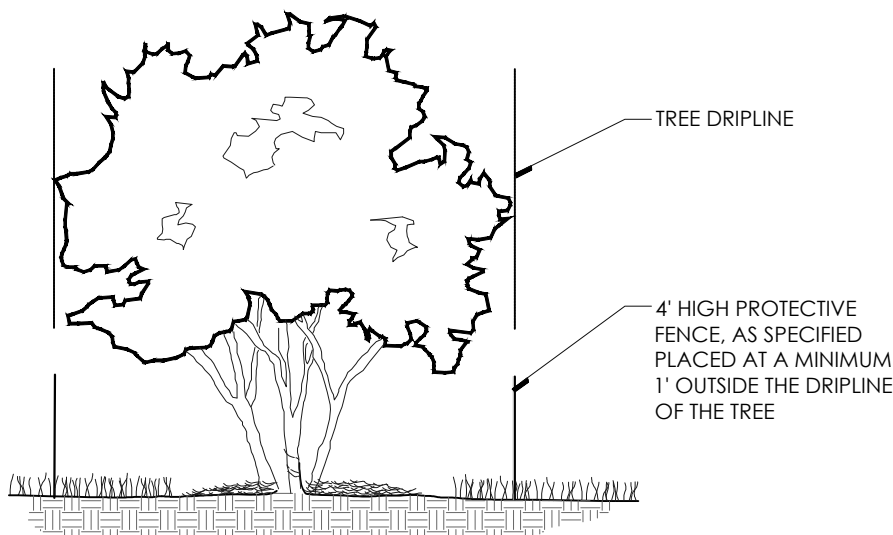
SHEET TITLE
SITE PLAN

AS-101



TREE PROTECTION DETAIL-PLAN

NTS



TREE PROTECTION DETAIL-SECTION

NTS

DEMOLITION NOTES:

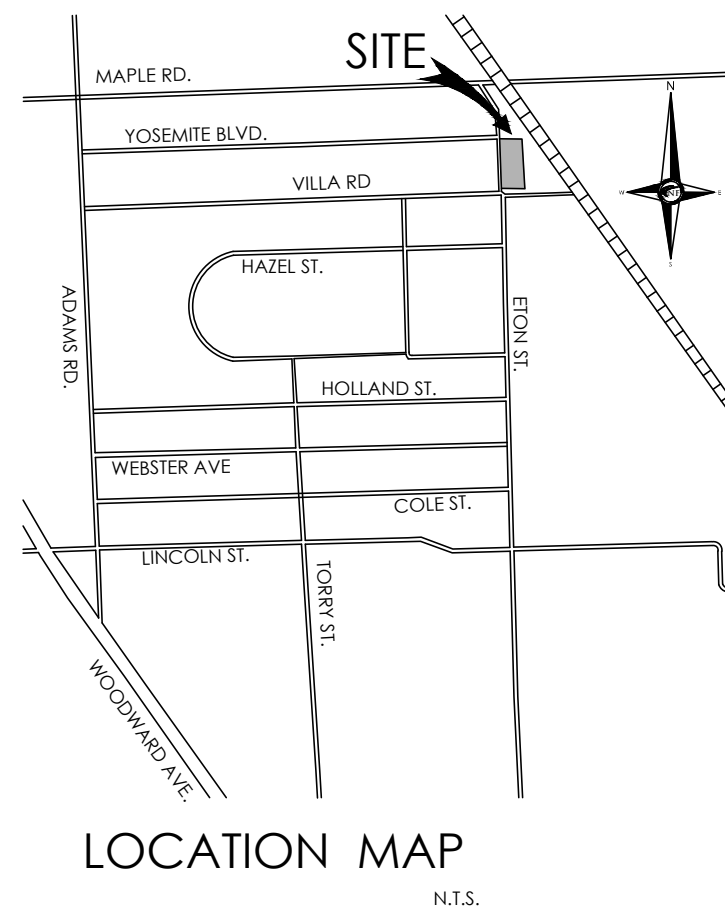
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SURVEY INFORMATION INCLUDING THE UTILITY SYSTEMS BEFORE ANY DEMOLITION OR CONSTRUCTION WORK OCCURS. ANY DISCREPANCIES WITH THE SURVEY INFORMATION SHALL BE REPORTED TO THE ARCHITECT AND OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR COST INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES.
- ALL EXISTING IMPROVEMENTS, MATERIALS AND PLANT MATERIAL TO REMAIN WITHIN THE NEW CONSTRUCTION AREA SHALL BE PROPERLY AND ADEQUATELY PROTECTED FROM DAMAGE DURING THE DEMOLITION OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE TO THE ORIGINAL CONDITION ANY OF THESE EXISTING ITEMS THAT ARE DAMAGED OR DISTURBED IN ANY WAY.
- ALL MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE CITY ENGINEER FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE CITY ENGINEER.
- STREETS, SIDEWALKS AND ADJACENT PROPERTIES SHALL BE PROTECTED THROUGHOUT THE WORK AS REQUIRED BY LOCAL CODES AND REGULATIONS AND APPROVED BY THE OWNER.
- ALL MATERIAL SPECIFIED TO BE REMOVED SHALL BE DISPOSED OF OFF-SITE PER LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL COORDINATE METHOD OF DISPOSAL WITH CITY ENGINEER PRIOR TO COMMENCEMENT OF WORK.
- MATERIALS TO BE REUSED OR SALVAGED SHALL BE STORED IN AN AREA DESIGNATED BY THE OWNERS REPRESENTATIVE FOR THAT PURPOSE. ALL SALVAGED MATERIALS SHALL REMAIN THE PROPERTY OF THE OWNER.
- DURING DEMOLITION OPERATIONS EVERY EFFORT SHALL BE MADE TO CONTROL DUST, PER CITY REQUIREMENTS.
- TREES AND SHRUBS TO BE REMOVED WITHIN THE LIMITS OF WORK SHALL BE CLEARLY IDENTIFIED WITH BRIGHTLY COLORED RIBBON.
- GRUBBING SHALL INCLUDE ALL WEEDS, SHRUBS, STUMPS AND ROOT SYSTEMS OF REMOVED PLANT MATERIAL, IRRIGATION PIPING AND ANY OTHER IRRIGATION MATERIALS WITHIN THE LIMITS OF DEMOLITION. GRUBBING SHALL BE TO THE DEPTHS BELOW PROPOSED IMPROVEMENTS INDICATED AS FOLLOWS: CONCRETE PAVING AND WALKWAYS-TOTAL DEPTH OF PAVING AND SUB-BASE; ASPHALT PAVING-TOTAL DEPTH OF PAVING AND SUB-BASE; LAWN AND OTHER PLANTINGS AREAS-REMOVE DEPTH REQUIRED OF STUMPS AND ROOTS OVER TWO (2) INCHES IN DIAMETER AND TURF.
- PROTECT EXISTING TREES TO REMAIN PER TYPICAL TREE PROTECTION DETAIL.
- STOCKPILED TOPSOIL SHALL BE STORED ON SITE AND REMAIN PROTECTED FROM CONTAMINATION PRIOR TO REDISTRIBUTION.
- SAWCUT AND REMOVE EXISTING ASPHALT AS REQUIRED TO INSTALL NEW SITE IMPROVEMENTS AND ADJUST GRADES WITHIN CITY STREETS. ALL WORK WITHIN CITY RIGHT OF WAY SHALL MEET CITY STANDARDS AND SPECIFICATIONS.
- ARRANGE FOR APPLICABLE UTILITY COMPANY TO RELOCATE EXISTING CABLES, WIRES, PHONE LINES, ETC. ALONG WITH EDISON POWER LINES AS REQUIRED.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL APPLICABLE PERMITS AND FEES NECESSARY FOR THE COMPLETE CONSTRUCTION OF THE PROJECT.

LEGEND:

- TREES TO BE REMOVED
- TREES TO REMAIN
- TREE PROTECTION FENCING

GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE, SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.



LOCATION MAP
N.T.S.



NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257

SEAL



PROJECT

Proposed Restaurant

CLIENT

Cameron Mitchell
Restaurants
Contact: Randy Roberty
Phone: 380-219-2582
Email:
rroberty@cameronmitchell.com

PROJECT LOCATION

Part of the NE 1/4
of Section 31
T. 2 North, R. 11 East,
City of Birmingham,
Oakland County, Michigan

SHEET

Tree Removal Plan



REVISIONS

05/18/23 REVISED PER OWNER REVIEW
07/25/23 REVISED PER PC
09/01/23 ISSUED FOR BID
09/22/23 REVISED PER ARCHITECT
11/30/23 REVISED PER CLIENT
01/02/24 REVISED PER CLIENT
02/13/24 REVISED PER CLIENT

DRAWN BY:

G. Ostrowski

DESIGNED BY:

G. Ostrowski

APPROVED BY:

G. Ostrowski

DATE:

05-01-2023

SCALE: 1" = 20'

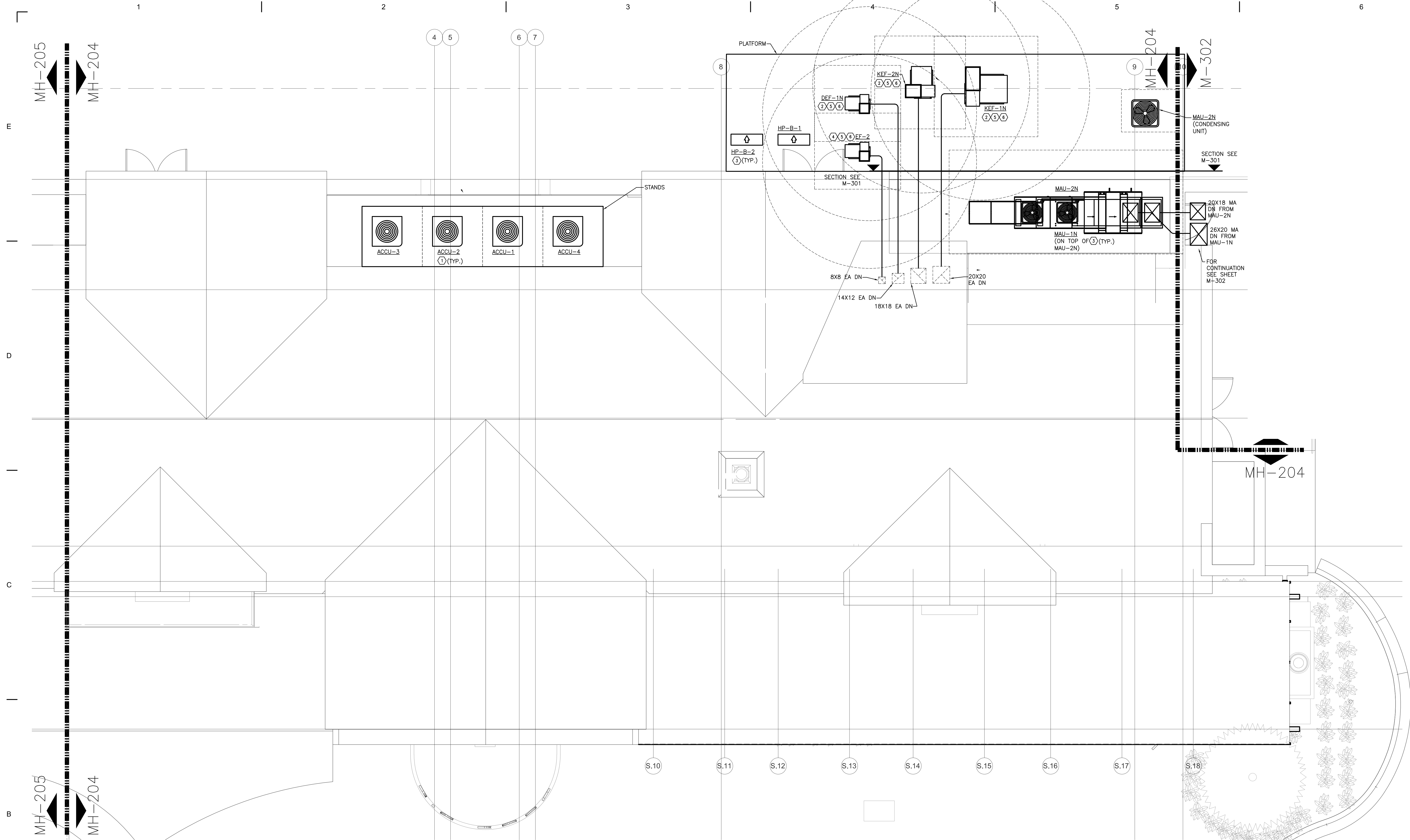
20 10 0 10 20 30

NFE JOB NO.

E103-04

SHEET NO.

L1



MECHANICAL HVAC ROOF PLAN-SOUTH

SCALE: 1/4"=1'-0"

GENERAL NOTES:

- GN1. SEE M-100 TO M-106 FOR SCHEDULES, NOTES & LEGENDS.
- GN2. PROVIDE ACCESS DOOR FOR ALL FIRE DAMPERS & MANUAL BALANCE DAMPER IN GYP BOARD CEILING OR SOFFIT.
- GN3. SEE ARCHITECTURAL DRAWING FOR LIFE SAFETY TO PROVIDE APPROPRIATE DAMPERS.
- GN4. MAINTAIN MINIMUM 10'-0" DISTANCE FROM ROOF EDGE FOR ALL HVAC UNITS. OTHERWISE PROVIDE HANDRAIL.
- GN5. TERMINATE ALL VENTS 3'-0" ABOVE ANY FORCED AIR INLET LOCATED WITH IN 10'-0".
- GN6. TERMINATE ALL EXHAUST DUCTS 3'-0" FROM ROOF EDGE.
- GN7. PROVIDE 2" FOAM INSULATION WITH PVC JACKET FOR ALL DUCTS RUN ON ROOF. JACKET COLOR TO MATCH THE ROOF.

KEY DRAWING NOTES:

- ① PROVIDE AIR COOLED CONDENSING UNIT AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAIL. COORDINATE FINAL LOCATION WITH ARCHITECT/OWNER. DISTANCE BETWEEN INDOOR AND OUTDOOR UNIT SHALL NOT EXCEED MANUFACTURER RECOMMENDATION.
- ② PROVIDE KITCHEN EXHAUST & DISHWASHER EXHAUST FAN AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAIL.
- ③ PROVIDE MAKE UP UNIT AS SHOWN ON PLAN. SEE SCHEDULE FOR DETAIL.
- ④ PROVIDE EXHAUST FAN. SEE SCHEDULE FOR DETAILS.
- ⑤ MAINTAIN MINIMUM 10'-0" DISTANCE BETWEEN EXHAUST OUTLET AND MAU INTAKE. IF DISTANCE CAN'T BE ACHIEVED, EXTEND EXHAUST OUTLET MINIMUM 3'-0" ABOVE OUTSIDE AIR INTAKE. IF 10 FT. DISTANCE CAN BE ACHIEVE EXTEND DISCHARGE TO THE SCREEN WALL.
- ⑥ INSTALL FANS ON STANDS. FIELD COORDINATE EXACT FAN HEIGHT WITH EXHAUST DUCT SLOPE.

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Knauer Incorporated
226 Green Bay Road
Highwood, IL 60040
(847) 945-8500
www.knaufinc.com



Preliminary

02/23/2024 10:07:04 AM



MARK	DATE	DESCRIPTION
4	01/11/24	BID BULLETIN-01
3	10/06/23	ISSUED FOR BID
2	07/24/23	PERMIT
1	06/29/23	REVIEW

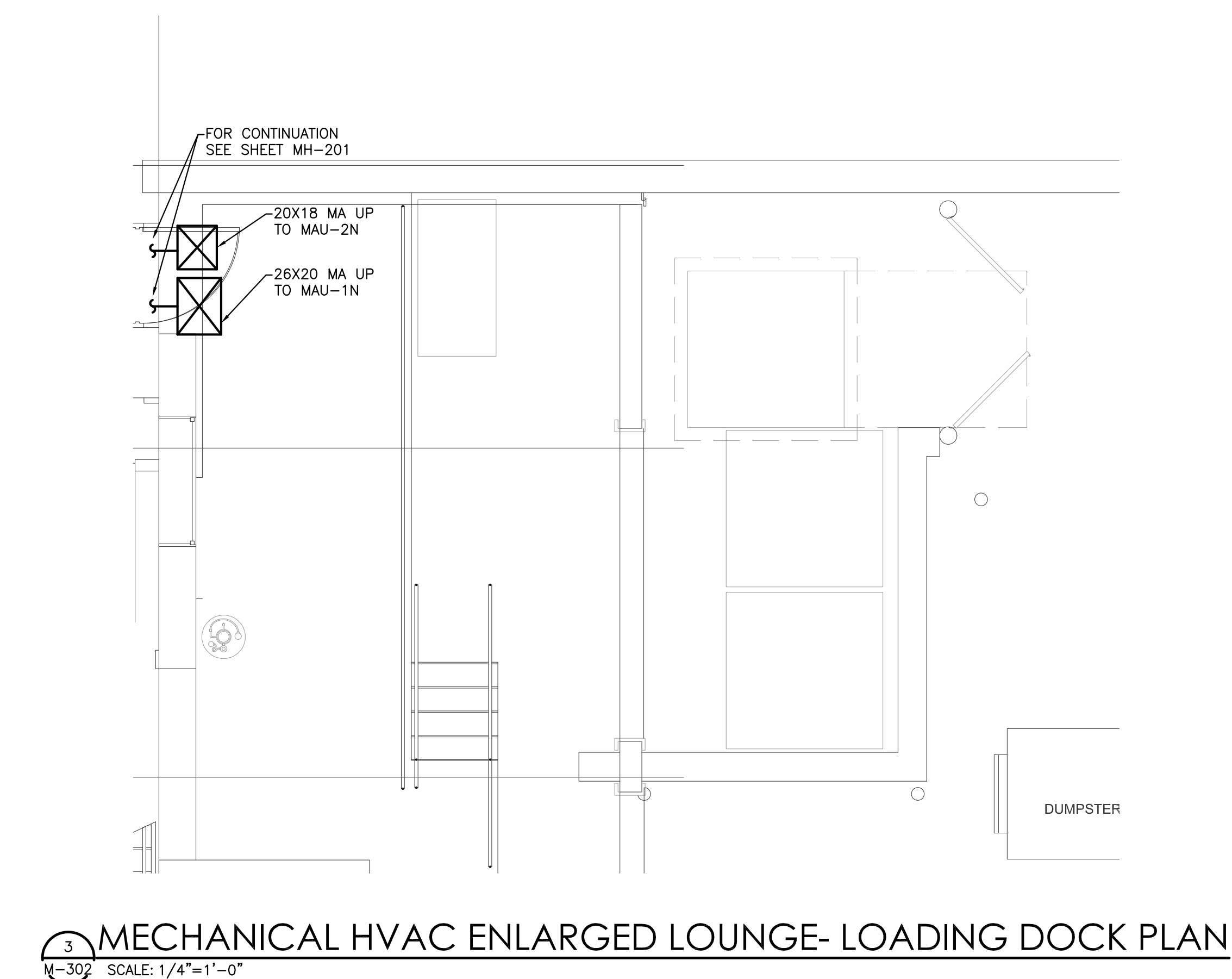
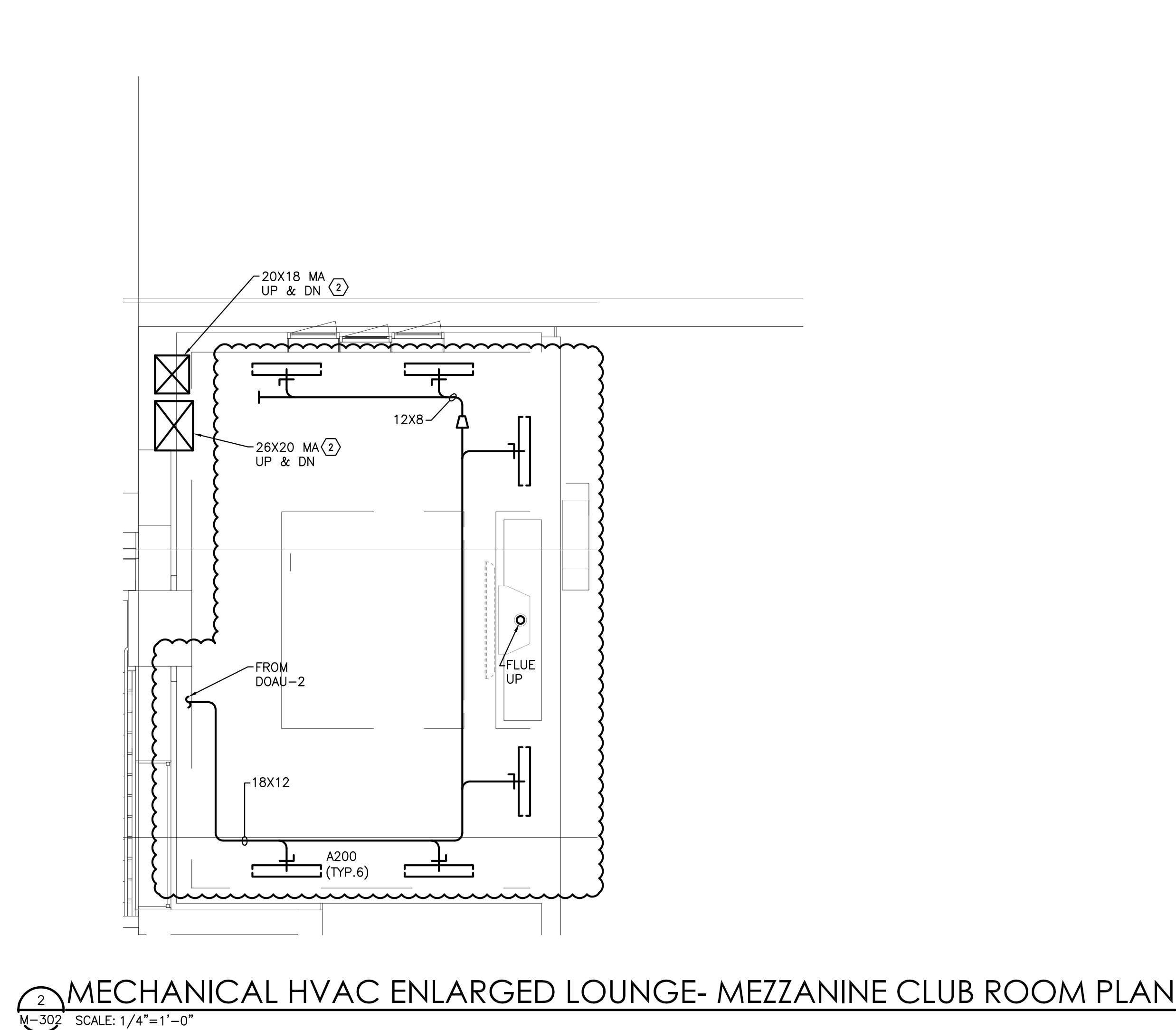
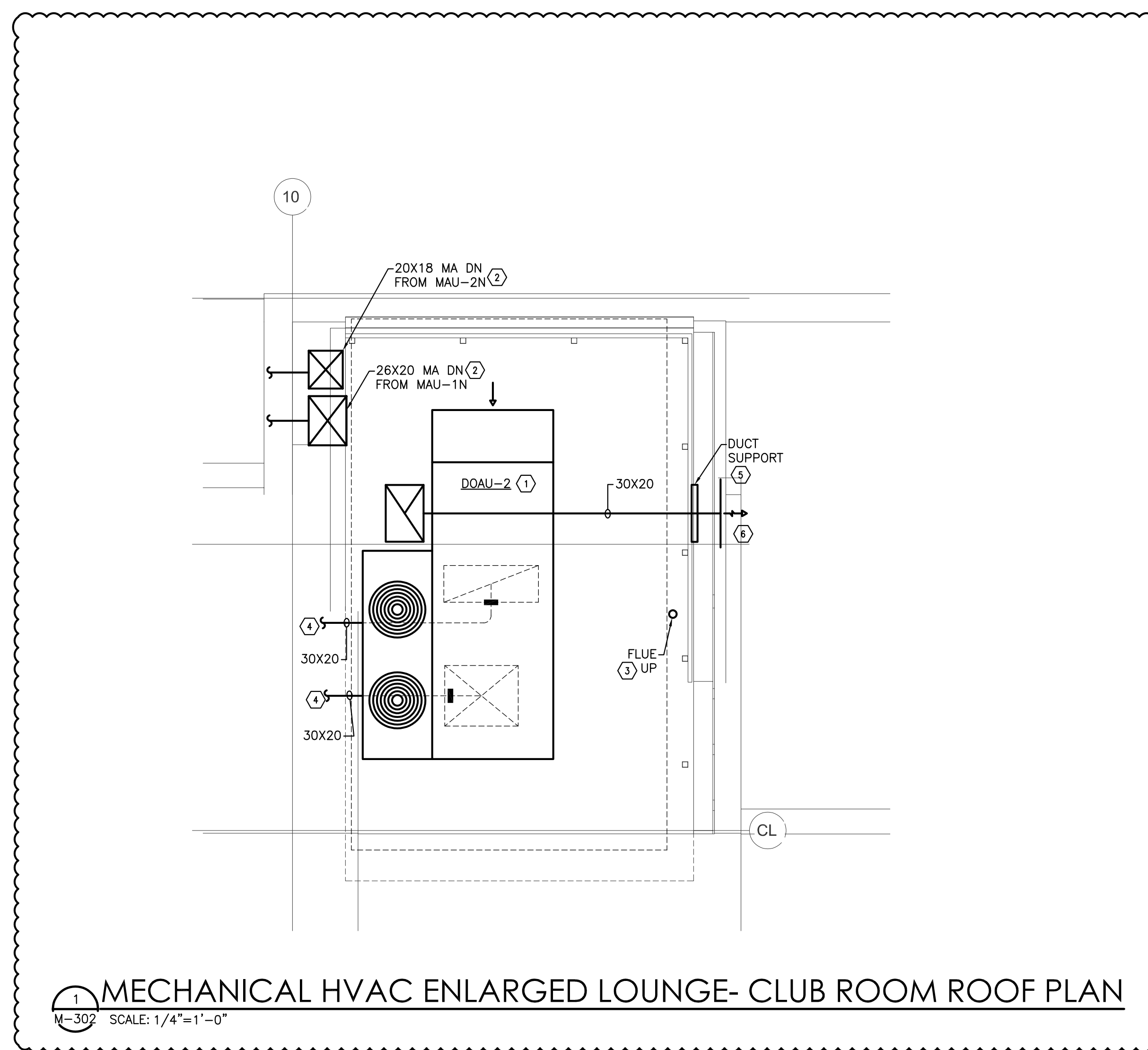
BIG ROCK

245 S ETON STREET
BIRMINGHAM, MI 48009

PROJECT NO:	3672
CAD DWG FILE:	
DRAWN BY:	SSE
CHECKED BY:	MMM
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SCALE:	0 2' 4' 8' 1/4" = 1'-0"

SHEET TITLE
MECHANICAL HVAC ROOF
PLAN - SOUTH

MH-204



GENERAL DRAWING NOTES:

- | | |
|------|--|
| GN1. | ALL DUCT SUPPORT SHALL BE PER SMACNA WITH ADEQUATE SPACE FOR PIPING & CONDUIT ABOVE DUCTWORK. |
| GN2. | ALL DUCTWORK IN CHASE SHALL BE INSULATED WITH 2" INSULATION, VAPOR BARRIER & JACKET. |
| GN3. | SEE M-100 TO M-106 FOR SCHEDULES, NOTES & LEGENDS. |
| GN4. | ALL EXPOSED DUCTWORK SHALL BE FLAT ROUND OR SPIRAL ROUND, COORDINATE COLOR WITH ARCHITECT AND OWNER. |
| GN5. | COORDINATE DUCTWORK WITH PIPING AND STORM DRAIN. |
| GN6. | PROVIDE ACCESS DOOR FOR ALL FIRE DAMPERS & MANUAL BALANCE DAMPER IN GYP BOARD CEILING OR SOFFIT. |
| GN7. | COORDINATE FINAL THERMOSTAT LOCATION WITH OWNER/ARCHITECT. |
| GN8. | NO PIPING OR DUCTWORK SHOULD RUN IN STAIR TOWERS. |
| GN9. | SEE ARCHITECTURAL DRAWING FOR LIFE SAFETY TO PROVIDE APPROPRIATE DAMPERS. |

KEY DRAWING NOTES:

- ① PROVIDE DEDICATED OUTSIDE AIR UNIT AS SHOWN PLAN. SEE SCHEDULE FOR DETAIL.
- ② MAKE UP AIR DUCT UP AND CONNECT TO ITS CORRESPONDING MAKE UP AIR UNIT. SEE SHEET MH-204 FOR CONTINUATION.
- ③ INSTALL FIREPLACE FLUE PIPE PER MANUFACTURER'S INSTALLATION MANUAL. EXTEND FLUE MIN. 3 FT. ABOVE DOAO-2 OUTSIDE AIR INTAKE.
- ④ SUPPLY AND RETURN AIR DUCT FROM DOAO-2. SEE SHEET MH-203 FOR CONTINUATION.
- ⑤ CONNECT EXHAUST DUCT TO EXHAUST OUTLET. INSURE THE DUCT ABOVE DOAO-2. PROVIDE DUCT SUPPORT.
- ⑥ CUT EXHAUST OUTLET AT 45° DEGREES AND PROVIDE BIRD SCREEN.

architecture
design
direction

Knauer Incorporated
226 Green Bay Road
Highwood, IL 60040
(847) 948.9500
www.knauerinc.com



Preliminary

02/23/2024 10:07:23 AM

[illegible]

2	01/29/24	BULLETIN-02
1	10/30/23	ADDENDUM #1
MARK	DATE	DESCRIPTION
ISSUED		

BIG ROCK

245 S ETON STREET
BIRMINGHAM, MI 48009

PROJECT NO:	3672
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CAD DWG FILE

DRAWN BY: SSE

CHECKED BY: MMM

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SCALE:

0 2' 4'

1/4" = 1'-0"

SHEET TITLE

MECHANICAL HVAC ENLARGED
LOUNGE ADDITION PLAN

M-302

DESIGN REVIEW - REVISION
BIRMINGHAM PLANNING DIVISION

February 22nd, 2024



Big Rock | Italian Chop House
245 S. Eton
Birmingham, Michigan

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CAMERON MITCHELL
• RESTAURANTS •

EXISTING CONDITIONS



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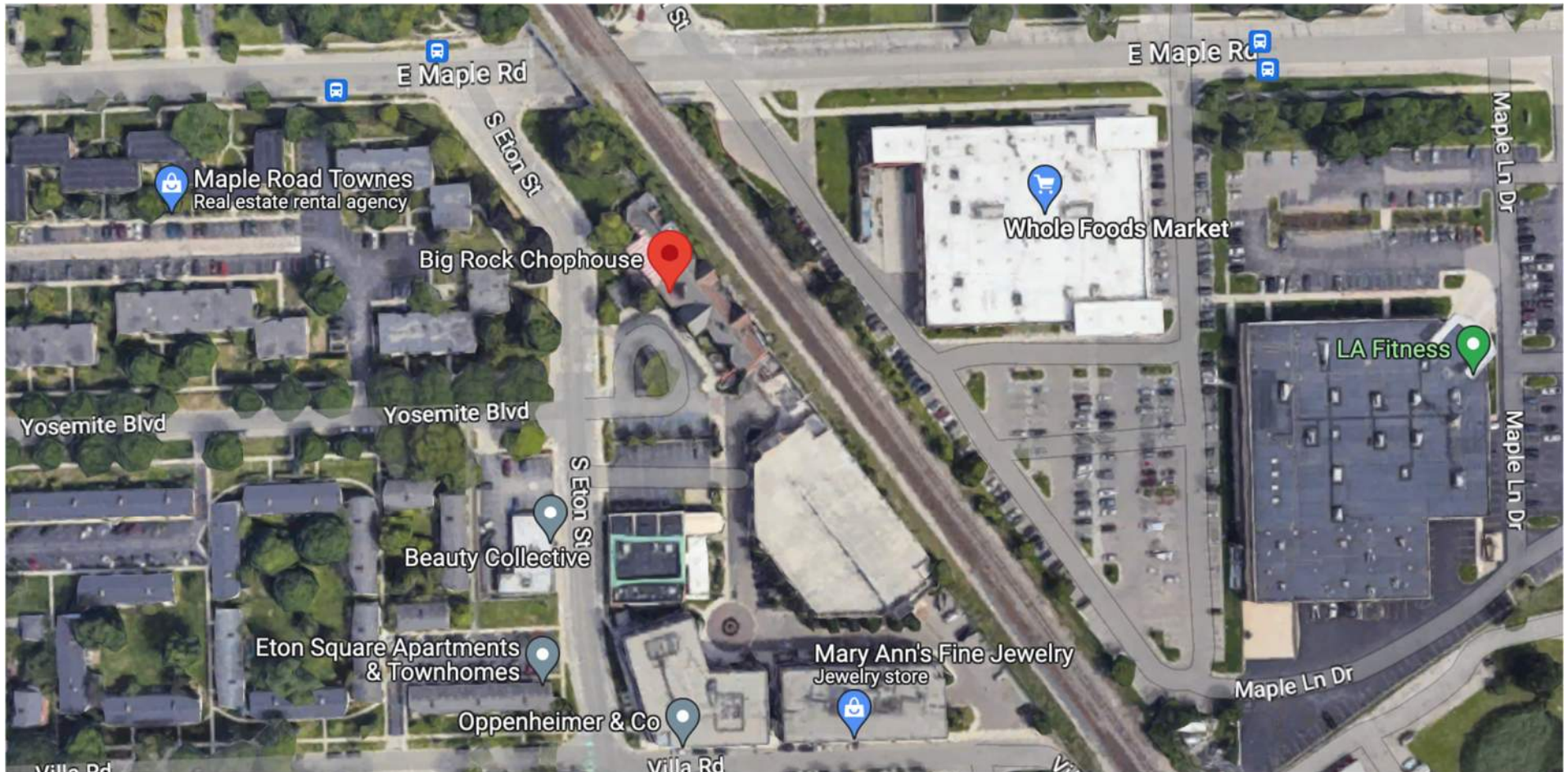
EXISTING CONDITIONS



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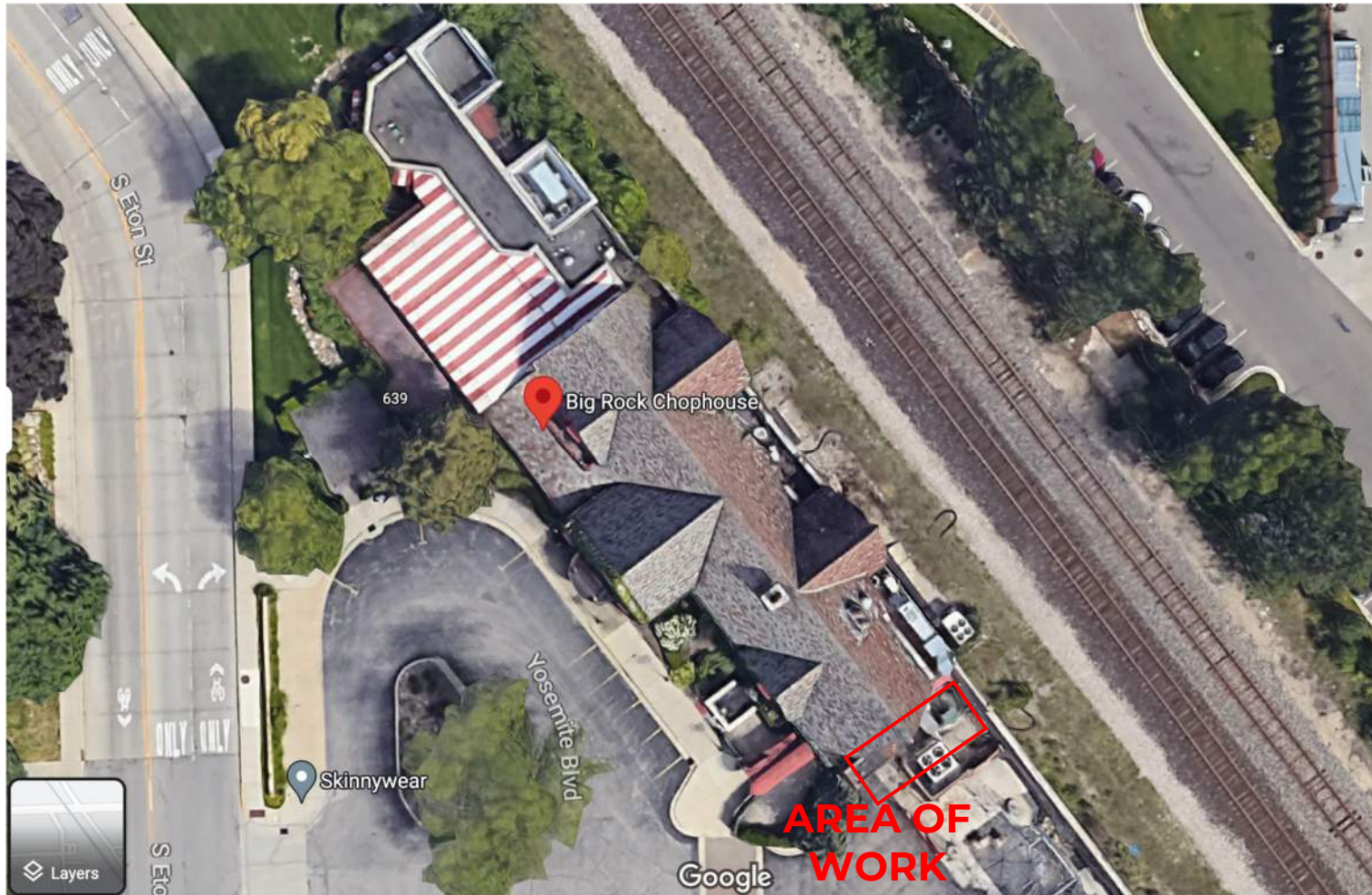


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PROPOSED 3-D Views



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PROPOSED 3-D Views



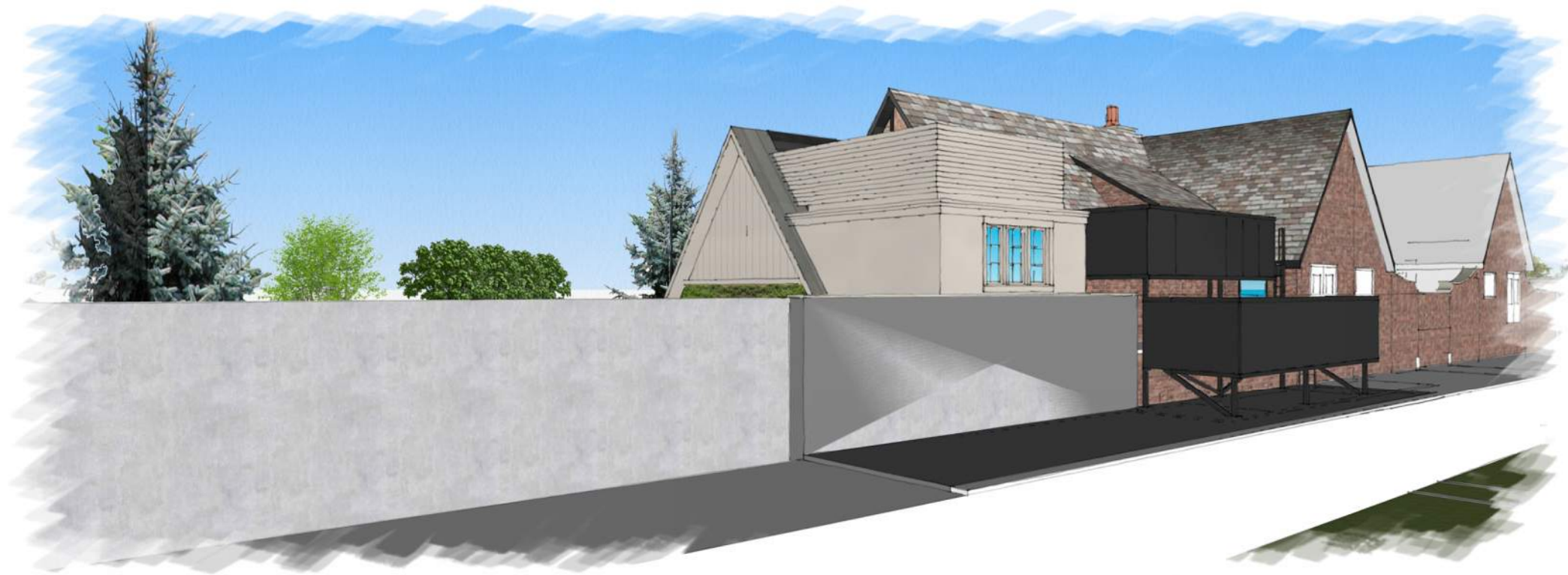
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PROPOSED 3-D Views



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• RESTAURANTS •

FINISHES AND MATERIALS:
PAINT, BRICK, SIDING, ROOF, & SCREENING



P-1
Trim, Soffits, Trellis,
and Windows:
Benjamin Moore
Black HC-190



BR-01 Thin Brick
Proposed Addition:
Brick to match existing
elevator and trash
enclosure wall.



Board and Batton Siding
12" spacing.
Proposed Addition:
Color to match existing
stucco.



Metal Screening:
Proposed Addition:
Vision Guard L20 Slatted
Louver. Color to match
existing stucco.



Standing Seam Roof
Proposed Addition:
Color – Zinc Grip



Stucco to match existing
eastside modern addition
stucco.

Big Rock | Italian Chop House
245 S. Eton
Birmingham, Michigan

February 22nd, 2024

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FINISHES AND MATERIALS: SCREENING



PRODUCT DATA SHEET

VisionGuard™ L20 Slatted Louver
Updated 10.24.2023



www.roofscreen.com

VisionGuard™ L20 Slatted Louver

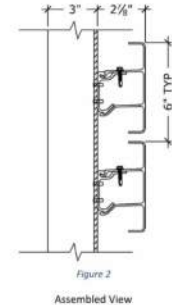
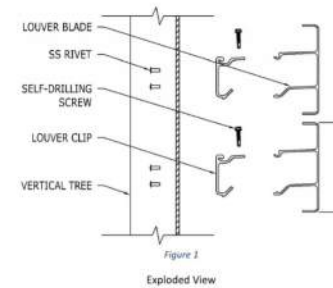
Description:

VisionGuard™ Slatted Louvers are 90° flat face blades designed for architectural and vision-proofing applications. Our continuous-blade design allows greater flexibility to achieve the aesthetics desired. Instead of the pre-framed panelized louvers commonly found on the market, VisionGuard louvers consist of individual continuous blades that can extend seamlessly across any distance without the need for frame flanges or mullions. If vertical mullions, or a panelized aesthetic is desired, it can easily be achieved with the use of trims.



Components:

- Louver Blade: .100" thick extruded aluminum, ASTM B 221, Alloy 6063-T6.
- Louver Clip: .125" thick extruded aluminum, ASTM B 221, Alloy 6063-T6.
- Vertical Tree: 3" x 3" x .188" thick extruded aluminum, ASTM B 221, Alloy 6061-T6.
- Self-Drilling Screw: #12-24 x 1.25" carbon with premium coating.
- SS Rivet: Stainless steel open end domed head .0187" x 0.565"



Big Rock | Italian Chop House
245 S. Eton
Birmingham, Michigan

KNAUER

January 18, 2024





MEMORANDUM

Planning Division

DATE: February 28, 2024

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: The Birmingham Plan 2040 – Prioritization of Key Actions

On May 22, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to adopt and approve in its entirety the Birmingham Plan 2040, inclusive of all maps, plats, charts, and other related matter, figures and the Future Land Use Map.

Once a master plan is adopted, the City is tasked with prioritizing and considering the recommendations of the plan through in-depth reviews. Within the Birmingham Plan 2040 ("2040 Plan"), the consultants consolidated and categorized nearly 130 recommendations located throughout the plan into 33 key actions. The consultants then prioritized the key actions based on their assessment of need and time horizon.

As the City moves forward with the implementation of the plan, it is key to remember that a master plan is not a static document. An annual review of a master plan is necessary to complete the following tasks. Every year, the Planning Board should:

1. Review goals and major recommendations.
2. Review action table and progress toward completing annual priorities.
3. Review prior year's rezoning and development decisions. Discuss if there are any trends that need to be addressed.
4. Identify any potential plan amendments to work on for the upcoming year that can be prepared and adopted then incorporated at a later date when the master plan is updated.
5. Identify any Zoning Ordinance updates to undertake in the coming year.

Performing the annual review and thoroughly documenting the process and the machinations of the master plan is essential when it comes to the master plan review after 5 years of adoption as required by the Michigan Planning Enabling Act. At 5 years, it should be determined whether any amendments are needed or whether the plan is still relevant to today's conditions. Generally, the goals, objectives and future land use plan should be carefully reviewed to contrast with current

development trends as well as any major changes or diversions from the plan that have taken place in order to consider whether the plan needs to be updated.

On December 13, 2023 ([Agenda](#)), the Planning Board discussed at a high level the Summary of Key Actions and how to begin the implementation of the Birmingham Plan 2040. Much discussion was had regarding an implementation framework and it was acknowledged that although the Planning Board does not have the direct authority to assign duties to other boards, commissions or staff members, it does have duties as listed in [Sec. 82-33](#) of the Birmingham Code of Ordinances to “carry out the goals, objectives and intent of the city's adopted master plan”, among other duties. It was also re-emphasized that each of these action items will be vetted in the public sphere at open meetings, and that the public engagement we invite would be focused on the merits of each recommendation and the work that stems from such rather than the merits of the 2040 Plan itself.

On January 10, 2024 ([Agenda – Minutes](#)), the Planning Division presented a reformatted version of the Summary of Key Actions table, which placed actions into separate tables based on which group would be the “primary” agent for that recommendation or action. The Planning Board and Planning Division discussed each of the tables and how interconnected a lot of the actions will be. Ultimately, the Planning Board requested that a few actions be moved to other sections.

On January 24, 2024 ([Agenda](#)), the Planning Board reviewed the Summary of Key Actions tables with the few minor changes that were requested at the last meeting. In addition, the Planning Division provided a draft letter for review that would be sent around to other boards/commissions that have direct responsibilities related to the 2040 Plan. In

At this time, the Planning Division has made the requested changes to the Summary of Key Actions tables, and has provided a full suite of draft letters to be circulated to the various boards at which the actions will be ultimately assigned by the City Commission. In addition, the Planning Division has made an attempt to organize the “Zoning Code Update” into different buckets: one that could be handled by a consultant within a comprehensive update to the Zoning Ordinance, and one that could require more attention from the Planning Board.

Please see the next pages for the Planning Divisions attempt to package the Zoning Code Update recommendation and its 23 sub-actions into those that could be handled as a part of a comprehensive Zoning Ordinance update, and those that will require a more in-depth dive.

Comprehensive Zoning Code Update

Description	Ch.
Focus on brevity, clarity, graphics, and aligning zones with Future Land Use categories.	2
Consolidate zones and uses as much as is practical and ensure the updated document is legible, clear, and predictable	2
Extend D2 zoning to the multi-family properties along the west side of Old Woodward up to Quarton.	4
Modify the MX District to enable the urban development envisioned for the Rail District.	4
Develop an Overlay Zoning District for the Lower Rail District that permits the existing, but somewhat improved condition to persist for the area south of Palmer Street.	4
Create a zoning district to enable neighborhood destinations.	1
Reduce the amount of open space required per unit for townhomes and multi-family.	2
Adjust residential zone boundaries and standards to better match existing housing. Including a study of the city's residential architectural styles and building types, their key characteristics, position on their properties, driveway configuration, age, and the areas where each common type is located.	3
Review and update site, building, and design codes to prevent increased rainwater runoff and other negative impacts from new house construction.	3
Consider age-in-place-friendly building regulations, such as grab-bars, ramps, and elevators in single family homes, with careful attention paid to the city's architectural heritage.	3
Address neighborhood lighting standards, including exterior residential lighting intensity and color temperature. See the International Dark Sky Association recommended standards.	3
Adopt a policy requiring a minimum 6 foot clear path along the sidewalk throughout mixed-use districts.	4
Advance building sustainability in new construction, especially within the City's mixed-use districts and for municipal buildings.	5

Zoning Code Update – Further Study

Description	Ch.
Create a new zoning district or modify the transition zone districts to enable infill development of small homes, townhomes, duplexes, and small multi-family buildings, limited to buffer and activity district seams.	2
Encourage renovations to expand existing houses rather than the construction of new houses.	3
Develop storefront design, signage, and other standards to retain the small-scale business character of Market North.	4
Enable Accessory Dwelling Units (ADUs) in already compatible zones: MX, TZ1, TZ3, and R4 through R8. Study ADUs for additional locations within the city and the regulations necessary to ensure compatibility.	2
Allow cafes, food trucks, carts, and kiosks in parks (currently the Public Property district).	1
Create subdivision and zoning standards to encourage redevelopment of the Adam's Square shopping center.	1
Establish zoning standards to encourage redevelopment of South Woodward Gateway properties.	4
Establish zoning standards to enable Neighborhood Sleeves in the South Woodward Gateway	4
Establish zoning standards to enable shared-use alleys, particularly in the South Woodward Gateway.	4
Incentivize South Woodward Gateway redevelopment through increased zoning capacity, permitting housing, and reduced parking requirements.	4

Planning Board

Type	Title	Description	Where	In Progress	Notes
Policy	Zoning Code Update	Update the zoning code. The following goals are provided greater detail within the chapters listed. See additional goals under “Best Practice Recommendations” in the “Update the Zoning Code” section.		☐	
		Focus on brevity, clarity, graphics, and aligning zones with Future Land Use categories.	2	☐	
		Consolidate zones and uses as much as is practical and ensure the updated document is legible, clear, and predictable	2	☐	
		Extend D2 zoning to the multi-family properties along the west side of Old Woodward up to Quarton.	4	☐	
		Modify the MX District to enable the urban development envisioned for the Rail District.	4	☐	
		Develop an Overlay Zoning District for the Lower Rail District that permits the existing, but somewhat improved condition to persist for the area south of Palmer Street.	4	☐	
		Create a zoning district to enable neighborhood destinations.	1	☐	
		Create a new zoning district or modify the transition zone districts to enable infill development of small homes, townhomes, duplexes, and small multi-family buildings, limited to buffer and activity district seams.	2	☐	
		Reduce the amount of open space required per unit for townhomes and multi-family.	2	☐	
		Adjust residential zone boundaries and standards to better match existing housing. Including a study of the city’s residential architectural styles and building types, their key characteristics, position on their properties, driveway configuration, age, and the areas where each common type is located.	3	☐	
		Review and update site, building, and design codes to prevent increased rainwater runoff and other negative impacts from new house construction.	3	☐	
		Consider age-in-place-friendly building regulations, such as grab-bars, ramps, and elevators in single family homes, with careful attention paid to the city’s architectural heritage.	3	☐	
		Address neighborhood lighting standards, including exterior residential lighting intensity and color temperature. See the International Dark Sky Association recommended standards.	3	☐	
		Develop storefront design, signage, and other standards to retain the small-scale business character of Market North.	4	☐	
		Enable Accessory Dwelling Units (ADUs) in already compatible zones: MX, TZ1, TZ3, and R4 through R8. Study ADUs for additional locations within the city and the regulations necessary to ensure compatibility.	2	☐	
		Create subdivision and zoning standards to encourage redevelopment of the Adam’s Square shopping center.	1	☐	
		Establish zoning standards to encourage redevelopment of South Woodward Gateway properties.	4	☐	
		Establish zoning standards to enable Neighborhood Sleeves in the South Woodward Gateway	4	☐	
		Establish zoning standards to enable shared-use alleys, particularly in the South Woodward Gateway.	4	☐	

		Incentivize South Woodward Gateway redevelopment through increased zoning capacity, permitting housing, and reduced parking requirements.	4	☐	
New Plans	North Old Woodward Streetscape	Develop a streetscape plan along North Old Woodward, up to Big Woodward, with a focus on adding on-street parking and pedestrian and bicycle amenities and improving safety	4	☐	
New Plans	Mixed-use Streetscape Plan	Create a streetscape improvement plan for the Triangle District and Rail District.	1	☐	
New Plans	Tree Canopy Improvement Plan	Create a Tree Canopy Improvement Plan. The following goals are provided greater detail within Chapter 3.		☐	
		Establish comprehensive policies for trees in streets and open spaces.	3	☐	
New Plans	Woodward Gateways Plan	Create a Woodward Gateways Plan to comprehensively address the three gateway areas along Woodward.		☐	
		Revisit and adopt plan components for the South Woodward Gateway Plan.	1, 4	☐	
		Create plan components for a North Woodward Gateway, including the future use of public land.	1, 4	☐	
		Create plan components a Downtown Gateway Plan for the Big Woodward and Maple intersection.	1	☐	
New Plans	Haynes Square Plan	Create a Haynes Square Plan which provides the details, timing, and funding for implementing Haynes Square recommendations.	1	☐	

Sustainability Board

Type	Title	Description	Where	In Progress	
Policy	Zoning Code Update	Update the zoning code. The following goals are provided greater detail within the chapters listed. See additional goals under “Best Practice Recommendations” in the “Update the Zoning Code” section.		☐	
		Advance building sustainability in new construction, especially within the City’s mixed-use districts and for municipal buildings.	5	☐	
Programs & Boards	Sustainability Board	Establish a Sustainability Board to oversee the recommendations of this plan section and other future sustainability initiatives.	5	☐	
New Plans	Green Infrastructure	Create a Green Infrastructure Plan to address stormwater run-off and areas experiencing regular flooding.	5	☐	
New Plans	Sustainability Action Plan	Create a Sustainability Action Plan. The following goals are provided greater detail within chapter 5.		☒	
		Reduce environmental impacts of municipal operations	5	☐	
		Incentivize green building, renewable energy, and green landscaping.	5	☐	
		Expand recycling and composting	5	☐	
		Implement green stormwater practices in streets and parks.	5	☐	
		Support Rouge River Natural Area improvements.	5	☐	
		Implement other sustainability focused recommendations of this plan.	5	☐	
		Create a Hazard Mitigation Plan addressing the City’s future climate	5	☐	
		Increase inter-governmental cooperation around sustainability initiatives.	5	☐	
		Study the best path towards encouraging or requiring businesses reduce plastic and Styrofoam use.	5	☐	
New Plans	Rouge River Restoration Plan	Develop a plan to improve and maintain the Rouge River natural area. The following goals are provided greater detail within chapter 5.		☐	
		Inventory and analyze the Rouge corridor’s wildlife, ecology, natural systems, and pollution sources.	5	☐	
		Stabilize riverbanks, remove invasive species, reintroduce native ground covers, wildflowers, under-story, and canopy tree species.	5	☐	
		Mitigate potential pollution or chemical sources, including the existing Springdale snow storage dumping area.	5	☐	
		Work with area organizations and agencies to oversee, build support, and raise funding for the park’s enhancements.	5	☐	
		Work with other area and regional organizations and communities to improve the quality of the Rouge River watershed.	5	☐	
New Plans	Tree Canopy Improvement Plan	Create a Tree Canopy Improvement Plan. The following goals are provided greater detail within Chapter 3.		☐	
		Create 5-, 10-, and 15- year goals to expand tree canopy cover.	3	☐	

		Study the condition of neighborhood tree canopies in parks and private spaces and potential improvements.	3	☐	
		Require that trees removed due to construction be replaced, as well as mandatory contributions to fund new off-site trees.	3	☐	
		Prevent existing, healthy trees from being removed due to new construction.	3	☐	
		Survey areas with constrained root area and establish a plan to add additional soil volume.	3	☐	

Multi-Modal Transportation Board

Type	Title	Description	Where	In Progress	Notes
Policy	Zoning Code Update	Update the zoning code. The following goals are provided greater detail within the chapters listed. See additional goals under “Best Practice Recommendations” in the “Update the Zoning Code” section.		☐	
		Adopt a policy requiring a minimum 6 foot clear path along the sidewalk throughout mixed-use districts.	4	☐	
New Plans	Woodward Safety & Beautification Plan	Create a Woodward Safety and Beautification Plan. The following goals are provided greater detail within the chapters listed.		☐	
		Improve Woodward crossings following best practices for pedestrians and cyclists.	1	☐	
		Study lane reduction and re-striping options for Woodward.	1	☐	
		Pursue a speed reduction on Woodward through legislative means.	1	☐	
		Plant a full and consistent tree canopy along the Woodward median throughout Birmingham, beginning with the northern and southern entries.	4	☐	
		Adjust Elm to meet Woodward perpendicularly.	1	☐	
		Adjust Worth to meet Woodward perpendicularly.	1	☐	
New Plans	Mixed-use Districts Parking Plan	Create a Mixed-use Districts Parking Plan. The following goals are provided greater detail within the chapters listed.		☐	
		Study bike parking and electric vehicle charging stations in garages.	4	☐	
Policy	Residential Street Standards	Update the Residential Street Standards, aligning the streetscape elements with Future Land Use categories. Update the Multi-modal Plan accordingly.	3	☐	
		Lower the posted speed on streets throughout town as much as possible.	3	☐	
Policy	Mixed-use District Streets	Adopt a policy requiring a minimum 6-foot clear path along the sidewalk be retained throughout mixed-use districts.	4	☐	
Existing Plan Updates	Multi-modal Plan Update	Update the Multi-modal Plan. The following goals are provided greater detail within the chapters listed. See additional goals under headings “Multimodal Plan Updates” and “Best Practice Recommendations for the Multimodal Plan” in Chapters 1 and 4.		☐	
		Address increased pedestrian activity anticipated in mixed-use districts that will grow in residential population.	1	☐	
		Support increased pedestrian activity on both sides of North Old Woodward and provide streetscape amenities.	4	☐	
		Complete gaps in sidewalks, add accessible corner ramps where not already specified, and replace street trees which are displaced by the process.	3	☐	
		Address recent experiences with increased outdoor dining.	1, 4	☐	
		Ensure bicycle facilities are protected on all streets posted at or above 35mph.	1	☐	
		Study bicycle accommodation alternatives along Lincoln.	3	☐	

		Include mobility routes based upon bicycle boulevard practices.	1	☐	
		Implement additional transportation mode best practices for new mobility technology and modes such as micro EVs, golf carts, and micro-mobility.	1	☐	
		Improve the conditions at bus stops along more major roads.	1	☐	
		Add Electric Vehicle charging stations throughout the city at garages, public parking lots, and on-street in Mixed-use Districts.	5	☐	
		Adopt a policy regulating street lighting, including intensity, color temperature, luminaire, and pole height and frequency.	3	☐	
		Include a public education component.	1	☐	
Existing Plan Updates	Eton Road Corridor Plan	Update the Eton Road Corridor Plan. The following goals are provided greater detail within Chapter 4.		☐	
		Increase connectivity for pedestrians, bikes, and cars for the area south of Hazel Street including future rail crossings.	4	☐	
		Provide access to the Troy Transit Center and consider the development of surrounding properties.	4	☐	
Studies	Circulator	Study a public circulator to provide viable means of accessing mixed-use districts and other significant destinations without a car.	1	☐	

City Commission

Type	Title	Description	Where	In Progress	Notes
Policy	Zoning Code Update*	Update the zoning code. The following goals are provided greater detail within the chapters listed. See additional goals under “Best Practice Recommendations” in the “Update the Zoning Code” section.		☐	
		Encourage renovations to expand existing houses rather than the construction of new houses.	3	☐	
		Allow cafes, food trucks, carts, and kiosks in parks (currently the Public Property district).	1	☐	
Policy	Unbundled Parking*	Pilot unbundled residential parking within Downtown parking garages.	2	☐	
Studies	Residential Districts Parking	Study citywide street on-parking restrictions and permits	3	☐	
New Plans	Mixed-use Districts Parking Plan*	Create a Mixed-use Districts Parking Plan. The following goals are provided greater detail within the chapters listed.		☐	
		Establish unbundled residential parking policies within Downtown garages.	2	☐	
		Establish unbundled residential parking policies in all mixed-use districts in existing and future parking garages.	2	☐	
		Provide public parking as recommended in the 2007 Triangle District Plan	1, 2, 4	☐	
		Provide public parking in the Rail District. Consider redevelopment of the DPS building to occupy a portion of a public parking garage in its place, which services the lower Rail District.	2, 4	☐	
		Provide public parking for the western Haynes Square district.	2	☐	
		Study opportunities to accommodate more monthly garage permits.	4	☐	
		Study monthly parking pass fees to better align with prevailing rates.	4	☐	
		Study tiered parking pricing to encourage use of under-utilized garages.	2, 4	☐	
		Study tiered parking meter pricing to encourage use of under-utilized on-street parking.	4	☐	
		Study the potential for Public Private Partnerships to construct garages.	1	☐	
		Study additional parking assessment districts or incremental tax districts for land purchases and financing the development of parking garages.	1	☐	
		Study parking garages at the Bates Street Extension and Lot 6.	4	☐	
		Study technological improvements to ease usage of parking garages.	4	☐	
Policy	Unimproved Streets	Adopt policy recommendations specified by the Ad-hoc Unimproved Streets Committee (AHUSC), including the following:		☐	
		Establish a yearly budget to remedy unimproved streets, considering the general fund plus bond strategy and repayment timelines.	3	☐	
		Survey the current condition of unimproved streets, categorized by the current quality such that streets in the most extreme states of disrepair can be prioritized for improvement.	3	☐	

		Remedy unimproved streets according to the repair priority and budget, ensuring improvements occur in multiple Planning Districts each year.	3	☐	
Studies	Civic Facilities Study	Study key civic facilities to continue to support Birmingham residents. The following goals are provided greater detail within chapters specified.		☐	
		Study the location, programming, and funding for new facilities for Next.	1	☐	
		Study a permanent, open-air farmers market pavilion with public restrooms on the portion of Lot 6 that is along Old Woodward.	4	☐	
		Establish policy to continue the tradition of constructing Birmingham’s civic buildings and parks as iconic structures and landscapes to the highest standards and at a civic scale	1	☐	
		Study how a Community Foundation / Fund may further Master Plan goals.	1	☐	
Existing Plan Updates	Parks and Recreation Master Plan Update	Expand the 2018 Parks and Recreation Master Plan or create a new plan beyond the 2022 horizon. The following goals are provided greater detail within the chapters listed. See additional goals under headings “Parks Best Practices” in Chapter 4.		☐	
		Purchase part of the Adams Square parking lot for park space, or ensure that redevelopment would require that future park space be provided near Adams and Bowers.	3	☐	
Studies	Shared-use Streets*	Study shared-use streets. The following goals are provided greater detail within the chapters listed.		☐	
		Study a shared-use streetscape retrofit along with a social district in the Maple & Woodward district.	1, 4	☐	
		Study a shared-use street section along Cole and Commerce Streets.	4	☐	
		Study additional opportunities in other mixed-use districts.	1, 4	☐	
Boards & Programs	Civic Events	Extend the role of the Public Arts Board or other existing board, or establish a Civic Events Board, to develop regular civic events to continue engaging the community throughout the year and promote existing civic institutions.	1, 4	☐	
		Consider regular events in community parks.	3	☐	
		Consider activities and special events to attract office workers and residents to shop and dine downtown, including weekly events at Shain Park.	4	☐	
Studies	Parking Technology	Review master plan parking recommendations in 2030-35 to evaluate new technologies and trends.	4	☐	

**Likely to be directed to the Planning Board when City Commission is ready*

Parks & Recreation Board

Type	Title	Description	Where	In Progress	Notes
Existing Plan Updates	Parks and Recreation Master Plan Update	Expand the 2018 Parks and Recreation Master Plan or create a new plan beyond the 2022 horizon. The following goals are provided greater detail within the chapters listed. See additional goals under headings “Parks Best Practices” in Chapter 4.		☐	
		Differentiate parks by type to better determine appropriate amenities, services, and best practices.	3	☐	
		Utilize Planning Districts to determine sufficiency of park access across the city, availability of amenities, and consideration of activities and recreation in each season.	3	☐	
		Formalize the public use of school and institutional open spaces for neighborhood recreation, prioritizing under-served Planning Districts.	1, 3	☐	
		Develop Worth Park to provide needed open space for Torry.	3	☐	
		Develop the contemplated linear park and trail along the Rail District.	4	☐	
		Build a cafe or provide accommodations in Booth Park as recommended in the 2016 Downtown Plan.	1, 4	☐	
		Increase amenities and connections in Downtown’s parks and mini-parks.	4	☐	
New Plans	Rouge River Trails and Access Master Plan	Develop and implement a trails and access master plan to improve the Rouge River trails and trail heads.		☐	
		Install pedestrian linkages to the park’s surrounding neighborhoods and commercial districts, including to Quarton Road.	5	☐	
		Secure easements to expand the park area and improve its walkability, for complete ecological restoration, and universal accessibility.	5	☐	
		Coordinate with Bloomfield and Beverly Hills to expand trail connections.	5	☐	
		Install an environmentally sensitive, hard-surfaced pathway for pedestrians and cyclists along the Rouge River.	5	☐	
		Expand the extent of the trail system, crossing the river at more locations to access large portions of the natural area currently cut off.	5	☐	
		Install bridges, ramps, and other enhancements to enable access by all ages and abilities.	5	☐	
		Install other amenities such as bicycle racks, lighting, markers, seating, and signage at trail heads, and seating, markers, and interpretive features throughout the trail system.	5	☐	

Historic District Commission

Type	Title	Description	Where	In Progress	Notes
Policy	Historic Districts Policy	Adopt a policy to proactively establish new historic districts as well as landmarks.	3	☒	

Public Arts Board

Type	Title	Description	Where	In Progress	Notes
Policy	Public Art Policy	Permit murals and wraps like the popcorn utility wrap to be city-initiated or by the Public Arts Board.	1	☐	
Policy	Art Murals Policy	Implement an art-mural program for large blank wall surfaces in key locations. Coordinate with the Mixed-use Districts Branding Plan.	4	☐	

Wayfinding & Branding Committee

Type	Title	Description	Where	In Progress	Notes
New Plans	Woodward Safety & Beautification Plan	Create a Woodward Safety and Beautification Plan. The following goals are provided greater detail within the chapters listed.		☐	
		Provide way-finding and informational signage for public parking	1, 4	☐	
New Plans	Mixed-Use Districts Branding Plan	Create a Mixed-use Districts Branding Plan, in coordination with the Birmingham Shopping District, to brand the City’s multiple mixed-use districts.	1, 4	☐	



MEMORANDUM

Planning Division

DATE: March 20, 2024

TO: Ad Hoc Environmental Sustainability Committee

FROM: Planning Board

SUBJECT: The Birmingham Plan 2040 – Summary of Key Actions

On May 22, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to adopt and approve in its entirety the Birmingham Plan 2040, inclusive of all maps, plats, charts, and other related matter, figures and the Future Land Use Map.

As it is clear that the commitment to sustainability and climate action will continue to grow over time in the City, the Planning Board expects and encourages the Ad Hoc Environmental Sustainability Committee to eventually become a formal standing commission, which will play a crucial role in the development of the City for many years to come.

At this time, the Planning Board is reviewing the Summary of Key Actions found on pages 18-23 of the [Birmingham Plan 2040](#) (the "Plan"). Pursuant to [Chapter 82, Sec. 82-33](#) of the Birmingham Code of Ordinances, the Planning Board has developed a table of actions that are relevant to the Ad Hoc Environmental Sustainability Committee, which is attached for your review. The Planning Board expects to review this table of actions with the City Commission in June 2024, and expects formal direction to be given at that time.

In the meantime, though, the Planning Board would like to hear from you! Throughout the implementation of the Plan, the Planning Board endeavors to be a partner to the Ad Hoc Environmental Sustainability Committee and will remain open to questions, feedback, joint meetings, or any other needs as they arise.

Sustainability Board

Type	Title	Description	Where	In Progress	
Policy	Zoning Code Update	Update the zoning code. The following goals are provided greater detail within the chapters listed. See additional goals under “Best Practice Recommendations” in the “Update the Zoning Code” section.		☐	
		Advance building sustainability in new construction, especially within the City’s mixed-use districts and for municipal buildings.	5	☐	
Programs & Boards	Sustainability Board	Establish a Sustainability Board to oversee the recommendations of this plan section and other future sustainability initiatives.	5	☐	
New Plans	Green Infrastructure	Create a Green Infrastructure Plan to address stormwater run-off and areas experiencing regular flooding.	5	☐	
New Plans	Sustainability Action Plan	Create a Sustainability Action Plan. The following goals are provided greater detail within chapter 5.		☒	
		Reduce environmental impacts of municipal operations	5	☐	
		Incentivize green building, renewable energy, and green landscaping.	5	☐	
		Expand recycling and composting	5	☐	
		Implement green stormwater practices in streets and parks.	5	☐	
		Support Rouge River Natural Area improvements.	5	☐	
		Implement other sustainability focused recommendations of this plan.	5	☐	
		Create a Hazard Mitigation Plan addressing the City’s future climate	5	☐	
		Increase inter-governmental cooperation around sustainability initiatives.	5	☐	
		Study the best path towards encouraging or requiring businesses reduce plastic and Styrofoam use.	5	☐	
New Plans	Rouge River Restoration Plan	Develop a plan to improve and maintain the Rouge River natural area. The following goals are provided greater detail within chapter 5.		☐	
		Inventory and analyze the Rouge corridor’s wildlife, ecology, natural systems, and pollution sources.	5	☐	
		Stabilize riverbanks, remove invasive species, reintroduce native ground covers, wildflowers, under-story, and canopy tree species.	5	☐	
		Mitigate potential pollution or chemical sources, including the existing Springdale snow storage dumping area.	5	☐	
		Work with area organizations and agencies to oversee, build support, and raise funding for the park’s enhancements.	5	☐	
		Work with other area and regional organizations and communities to improve the quality of the Rouge River watershed.	5	☐	
New Plans	Tree Canopy Improvement Plan	Create a Tree Canopy Improvement Plan. The following goals are provided greater detail within Chapter 3.		☐	
		Create 5-, 10-, and 15- year goals to expand tree canopy cover.	3	☐	

		Study the condition of neighborhood tree canopies in parks and private spaces and potential improvements.	3	☐	
		Require that trees removed due to construction be replaced, as well as mandatory contributions to fund new off-site trees.	3	☐	
		Prevent existing, healthy trees from being removed due to new construction.	3	☐	
		Survey areas with constrained root area and establish a plan to add additional soil volume.	3	☐	



MEMORANDUM

Planning Division

DATE: March 7, 2024

TO: Multi-Modal Transportation Board

FROM: Planning Board

SUBJECT: The Birmingham Plan 2040 – Summary of Key Actions

On May 22, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to adopt and approve in its entirety the Birmingham Plan 2040, inclusive of all maps, plats, charts, and other related matter, figures and the Future Land Use Map.

The Multi-Modal Transportation Board has played a major role in the development of the City since its inception 2014. The MMTB and its careful analysis of various road projects, support of multimodal infrastructure, and commitment to walkability has made the City a better place to live, work and play in, and has provided the Planning Board with an opportunity to better guide development in the City of Birmingham.

At this time, the Planning Board is reviewing the Summary of Key Actions found on pages 18-23 of the [Birmingham Plan 2040](#) (the “Plan”). Pursuant to [Chapter 82, Sec. 82-33](#) of the Birmingham Code of Ordinances, the Planning Board has developed a table of actions that are relevant to the Multi-Modal Transportation Board, which is attached for your review. The Planning Board expects to review this table of actions with the City Commission in June 2024, and expects formal direction to be given at that time.

In the meantime, though, the Planning Board would like to hear from you! Throughout the implementation of the Plan, the Planning Board endeavors to be a partner to the Multi-Modal Transportation Board and will remain open to questions, feedback, joint meetings, or any other needs as they arise.

Multi-Modal Transportation Board

Type	Title	Description	Where	In Progress	Notes
Policy	Zoning Code Update	Update the zoning code. The following goals are provided greater detail within the chapters listed. See additional goals under “Best Practice Recommendations” in the “Update the Zoning Code” section.		☐	
		Adopt a policy requiring a minimum 6 foot clear path along the sidewalk throughout mixed-use districts.	4	☐	
New Plans	Woodward Safety & Beautification Plan	Create a Woodward Safety and Beautification Plan. The following goals are provided greater detail within the chapters listed.		☐	
		Improve Woodward crossings following best practices for pedestrians and cyclists.	1	☐	
		Study lane reduction and re-striping options for Woodward.	1	☐	
		Pursue a speed reduction on Woodward through legislative means.	1	☐	
		Plant a full and consistent tree canopy along the Woodward median throughout Birmingham, beginning with the northern and southern entries.	4	☐	
		Adjust Elm to meet Woodward perpendicularly.	1	☐	
		Adjust Worth to meet Woodward perpendicularly.	1	☐	
New Plans	Mixed-use Districts Parking Plan	Create a Mixed-use Districts Parking Plan. The following goals are provided greater detail within the chapters listed.		☐	
		Study bike parking and electric vehicle charging stations in garages.	4	☐	
Policy	Residential Street Standards	Update the Residential Street Standards, aligning the streetscape elements with Future Land Use categories. Update the Multi-modal Plan accordingly.	3	☐	
		Lower the posted speed on streets throughout town as much as possible.	3	☐	
Policy	Mixed-use District Streets	Adopt a policy requiring a minimum 6-foot clear path along the sidewalk be retained throughout mixed-use districts.	4	☐	
Existing Plan Updates	Multi-modal Plan Update	Update the Multi-modal Plan. The following goals are provided greater detail within the chapters listed. See additional goals under headings “Multimodal Plan Updates” and “Best Practice Recommendations for the Multimodal Plan” in Chapters 1 and 4.		☐	
		Address increased pedestrian activity anticipated in mixed-use districts that will grow in residential population.	1	☐	
		Support increased pedestrian activity on both sides of North Old Woodward and provide streetscape amenities.	4	☐	
		Complete gaps in sidewalks, add accessible corner ramps where not already specified, and replace street trees which are displaced by the process.	3	☐	
		Address recent experiences with increased outdoor dining.	1, 4	☐	
		Ensure bicycle facilities are protected on all streets posted at or above 35mph.	1	☐	
		Study bicycle accommodation alternatives along Lincoln.	3	☐	

		Include mobility routes based upon bicycle boulevard practices.	1	☐	
		Implement additional transportation mode best practices for new mobility technology and modes such as micro EVs, golf carts, and micro-mobility.	1	☐	
		Improve the conditions at bus stops along more major roads.	1	☐	
		Add Electric Vehicle charging stations throughout the city at garages, public parking lots, and on-street in Mixed-use Districts.	5	☐	
		Adopt a policy regulating street lighting, including intensity, color temperature, luminaire, and pole height and frequency.	3	☐	
		Include a public education component.	1	☐	
Existing Plan Updates	Eton Road Corridor Plan	Update the Eton Road Corridor Plan. The following goals are provided greater detail within Chapter 4.		☐	
		Increase connectivity for pedestrians, bikes, and cars for the area south of Hazel Street including future rail crossings.	4	☐	
		Provide access to the Troy Transit Center and consider the development of surrounding properties.	4	☐	
Studies	Circulator	Study a public circulator to provide viable means of accessing mixed-use districts and other significant destinations without a car.	1	☐	



MEMORANDUM

Planning Division

DATE: March 5, 2024

TO: Parks and Recreation Board Members

FROM: Planning Board

SUBJECT: The Birmingham Plan 2040 – Summary of Key Actions

On May 22, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to adopt and approve in its entirety the Birmingham Plan 2040, inclusive of all maps, plats, charts, and other related matter, figures and the Future Land Use Map.

The Parks and Recreation Board has been an invaluable steward of Birmingham's 26 public parks and open spaces for many years. With the adoption of the 2024-2028 Parks and Recreation Master Plan, the Planning Board expects the demonstrated excellence to continue to provide an immensely valuable public service to this community. As you know, parks and open space are key considerations in the field of land use and urban planning.

At this time, the Planning Board is reviewing the Summary of Key Actions found on pages 18-23 of the [Birmingham Plan 2040](#) (the "Plan"). Pursuant to [Chapter 82, Sec. 82-33](#) of the Birmingham Code of Ordinances, the Planning Board has developed a table of actions that are relevant to the Parks and Recreation Board, which is attached for your review. The Planning Board expects to review this table of actions with the City Commission in June 2024, and expects formal direction to be given at that time.

In the meantime, though, the Planning Board would like to hear from you! Throughout the implementation of the Plan, the Planning Board endeavors to be a partner to the Parks and Recreation Board and will remain open to questions, feedback, joint meetings, or any other needs as they arise.

Parks & Recreation Board

Type	Title	Description	Where	In Progress	Notes
Existing Plan Updates	Parks and Recreation Master Plan Update	Expand the 2018 Parks and Recreation Master Plan or create a new plan beyond the 2022 horizon. The following goals are provided greater detail within the chapters listed. See additional goals under headings “Parks Best Practices” in Chapter 4.		☐	
		Differentiate parks by type to better determine appropriate amenities, services, and best practices.	3	☐	
		Utilize Planning Districts to determine sufficiency of park access across the city, availability of amenities, and consideration of activities and recreation in each season.	3	☐	
		Formalize the public use of school and institutional open spaces for neighborhood recreation, prioritizing under-served Planning Districts.	1, 3	☐	
		Develop Worth Park to provide needed open space for Torry.	3	☐	
		Develop the contemplated linear park and trail along the Rail District.	4	☐	
		Build a cafe or provide accommodations in Booth Park as recommended in the 2016 Downtown Plan.	1, 4	☐	
		Increase amenities and connections in Downtown’s parks and mini-parks.	4	☐	
New Plans	Rouge River Trails and Access Master Plan	Develop and implement a trails and access master plan to improve the Rouge River trails and trail heads.		☐	
		Install pedestrian linkages to the park’s surrounding neighborhoods and commercial districts, including to Quarton Road.	5	☐	
		Secure easements to expand the park area and improve its walkability, for complete ecological restoration, and universal accessibility.	5	☐	
		Coordinate with Bloomfield and Beverly Hills to expand trail connections.	5	☐	
		Install an environmentally sensitive, hard-surfaced pathway for pedestrians and cyclists along the Rouge River.	5	☐	
		Expand the extent of the trail system, crossing the river at more locations to access large portions of the natural area currently cut off.	5	☐	
		Install bridges, ramps, and other enhancements to enable access by all ages and abilities.	5	☐	
		Install other amenities such as bicycle racks, lighting, markers, seating, and signage at trail heads, and seating, markers, and interpretive features throughout the trail system.	5	☐	



MEMORANDUM

Planning Division

DATE: March 6, 2024

TO: Historic District Commission Members

FROM: Planning Board

SUBJECT: The Birmingham Plan 2040 – Summary of Key Actions

On May 22, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to adopt and approve in its entirety the Birmingham Plan 2040, inclusive of all maps, plats, charts, and other related matter, figures and the Future Land Use Map.

The Historic District Commission plays a unique but important role in the City of Birmingham, which often carries over to the Planning Board in conversations regarding developments. The Planning Board has been continually impressed by the Historic District Commissions attention to detail and commitment to preserving Birmingham's historic buildings and places.

At this time, the Planning Board is reviewing the Summary of Key Actions found on pages 18-23 of the [Birmingham Plan 2040](#) (the "Plan"). Pursuant to [Chapter 82, Sec. 82-33](#). of the Birmingham Code of Ordinances, the Planning Board has developed a table of actions that are relevant to the Historic District Commission, which is attached for your review. The Planning Board expects to review this table of actions with the City Commission in June 2024, and expects formal direction to be given at that time.

In the meantime, though, the Planning Board would like to hear from you! Throughout the implementation of the Plan, the Planning Board endeavors to be a partner to the Historic District Commission and will remain open to questions, feedback, joint meetings, or any other needs as they arise.



MEMORANDUM

Planning Division

DATE: March 20, 2024

TO: Public Arts Board

FROM: Planning Board

SUBJECT: The Birmingham Plan 2040 – Summary of Key Actions

On May 22, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to adopt and approve in its entirety the Birmingham Plan 2040, inclusive of all maps, plats, charts, and other related matter, figures and the Future Land Use Map.

The Public Arts Board has played an important role in the beautification of our public and private space and will continue to do so as new public spaces emerge and improve moving forward.

At this time, the Planning Board is reviewing the Summary of Key Actions found on pages 18-23 of the [Birmingham Plan 2040](#) (the "Plan"). Pursuant to [Chapter 82, Sec. 82-33](#). of the Birmingham Code of Ordinances, the Planning Board has developed a table of actions that are relevant to the Public Arts Board, which is attached for your review. The Planning Board expects to review this table of actions with the City Commission in June 2024, and expects formal direction to be given at that time.

In the meantime, though, the Planning Board would like to hear from you! Throughout the implementation of the Plan, the Planning Board endeavors to be a partner to the Public Arts Board and will remain open to questions, feedback, joint meetings, or any other needs as they arise.



MEMORANDUM

Planning Division

DATE: March 11, 2024

TO: Wayfinding and Branding Committee Members

FROM: Planning Board

SUBJECT: The Birmingham Plan 2040 – Summary of Key Actions

On May 22, 2023 ([Agenda](#) – [Minutes](#)), the City Commission moved to adopt and approve in its entirety the Birmingham Plan 2040, inclusive of all maps, plats, charts, and other related matter, figures and the Future Land Use Map.

Although a relatively new group in the City, it is clear that the Wayfinding and Branding Committee has made a major impact in a short period of time, and will play a critical role in the development of Birmingham as time moves forward.

At this time, the Planning Board is reviewing the Summary of Key Actions found on pages 18-23 of the [Birmingham Plan 2040](#) (the “Plan”). Pursuant to [Chapter 82, Sec. 82-33](#) of the Birmingham Code of Ordinances, the Planning Board has developed a table of actions that are relevant to the Wayfinding and Branding Committee, which is attached for your review. The Planning Board expects to review this table of actions with the City Commission in June 2024, and expects formal direction to be given at that time.

In the meantime, though, the Planning Board would like to hear from you! Throughout the implementation of the Plan, the Planning Board endeavors to be a partner to the Wayfinding and Branding Committee and will remain open to questions, feedback, joint meetings, or any other needs as they arise.

Historic District Commission

Type	Title	Description	Where	In Progress	Notes
Policy	Historic Districts Policy	Adopt a policy to proactively establish new historic districts as well as landmarks.	3	☒	

Public Arts Board

Type	Title	Description	Where	In Progress	Notes
Policy	Public Art Policy	Permit murals and wraps like the popcorn utility wrap to be city-initiated or by the Public Arts Board.	1	☐	
Policy	Art Murals Policy	Implement an art-mural program for large blank wall surfaces in key locations. Coordinate with the Mixed-use Districts Branding Plan.	4	☐	

Wayfinding & Branding Committee

Type	Title	Description	Where	In Progress	Notes
New Plans	Woodward Safety & Beautification Plan	Create a Woodward Safety and Beautification Plan. The following goals are provided greater detail within the chapters listed.		☐	
		Provide way-finding and informational signage for public parking	1, 4	☐	
New Plans	Mixed-Use Districts Branding Plan	Create a Mixed-use Districts Branding Plan, in coordination with the Birmingham Shopping District, to brand the City’s multiple mixed-use districts.	1, 4	☐	



MEMORANDUM

Planning Division

DATE: February 28, 2024

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Project Updates & Information

The following report contains the most recent updates on projects that have completed by the Planning Board and are on to the next steps of approval. In addition, other significant development-related projects that have been reviewed or embarked upon by boards/commissions such as the Historic District Commission, Design Review Board, Multi-Modal Transportation Board, or similar bodies have been included for reference as well.

Site Plan & Design Reviews

- 2159 E. Lincoln – Lincoln Yard – Temporary Certificate of Occupancy has been issued
- 34965 Woodward – Peabody Redevelopment – Permitting, numerous extensions requested & granted
- 35001 Woodward – Land lease executed by City Commission/Design development, site plan extension granted on October 11, 2023
- 707 S. Worth – Under construction
- 2225 E. 14 Mile – Our Shepherd – **Completed**
- 36877 Woodward – Gasow Veterinary Hospital – Under construction
- 243 Merrill – La Strada – Permitting/Construction
- 320 Martin – Birmingham Post Office – Design Development
- 185 N. Old Woodward – Bell Bistro – Permitting
- 460 N. Old Woodward – Wilders – Under construction
- 295 Elm St. – Forest Townhomes – Building permits under review
- 34350 Woodward – Fred Lavery Porsche – **Approved by City Commission on January 22, 2024.**
- 479 S. Old Woodward – Birmingham Tower – Under construction
- 245 S. Eton – Big Rock – Under construction
- 33866 Woodward – Polestar – Permitting/Design development

Ordinance Amendments/Master Planning

- -

Non-Planning Board Projects

- 185 Oakland – Belfor – Façade renovations, design development
- 33680 Woodward – Petrucci Studio – Under construction
- 163 W. Maple – Seven Daughters – Under construction
- 138 W. Maple – Blakeslee Building – Façade renovations, permitting
- 172 N. Old Woodward – National Bank Building – Façade renovations, design development
- 120 W. Maple – Ford Building – **Completed**
- 151 N. Eton – Façade and screening improvements, permitting

- Historic Preservation Master Plan – In progress.

Sustainability & Climate Action Plan/Greenhouse Gas Emissions Inventory

- Next meeting – March 11, 2024
- Greenhouse Gas Emissions inventory – In progress
- Sustainability and Climate Action Plan – In progress

ADMIN APPROVAL - PB

App Date	Case #	Scope of Work	Property Address	Status
01/29/2024	PAA24-0005	Formal approval of existing outdoor dining patio on private property	930 E MAPLE RD	COMPLETED - APPROVED
02/08/2024	PAA24-0007	Occupancy load count for restaurant revised based on use and Michigan building code.	210 S OLD WOODWARD AVE STE 110	IN PROGRESS
Total Processes For Type:				2



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY MARCH 13, 2024 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

The City recommends members of the public wear a mask if they have been exposed to COVID-19 or have a respiratory illness. City staff, City Commission and all board and committee members must wear a mask if they have been exposed to COVID-19 or actively have a respiratory illness. The City continues to provide KN-95 respirators and triple layered masks for attendees.

- A.** Roll Call
- B.** Review and Approval of the Minutes of the Regular Meeting of **February 28, 2024**
- C.** Chairpersons' Comments
- D.** Review of the Agenda
- E.** Meeting Open to the Public for Items Not on the Printed Agenda
- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Special Land Use Permits
- I.** Community Impact Studies
- J.** Site Plan & Design Reviews
- K.** Study Session
 - 1. **Mixed-Use Requirements – Study Session**
 - 2. **The Birmingham Plan 2040 – Prioritization of Key Actions**
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - i. **April Planning Board Meeting(s)**
 - 3. Administrative Approval Correspondence
 - i. **February 23, 2024 – March 8, 2024**
 - 4. Draft Agenda – **March 27, 2024**
 - 5. Action List – **2024**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/111656967>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building Security, public entrance during non-business hours is through the Police Department—Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-5115 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY MARCH 27, 2024 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

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- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Community Impact Studies
- I.** Special Land Use Permits
- J.** Site Plan & Design Reviews
- K.** Study Session
 - 1. **The Birmingham Plan 2040 – Prioritization of Key Actions**
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - ii. **April Planning Board Meeting(s)**
 - 3. Administrative Approval Correspondence
 - i. **March 8, 2024 – March 22, 2024**
 - 4. Draft Agenda – **May 8, 2024**
 - 5. Action List – **2024**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

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Planning Board Action List – 2023

Topic	General Goals	City Commission Directive?	Quarter	Status	
				In Progress	Complete
2040 Master Plan	Adopt a new comprehensive master plan.	☒	Ongoing	☐	☒
B1 Neighborhood Business Uses	Consider adding additional commercial permitted uses in the B1 zone.	☐	1 st (January-March)	☐	☒
Mixed Use Requirements	Consider changing the requirements for mixed use in the Triangle District.	☐	1 st (January-March)	☒	☐
Impervious Surface Definition	Clarify definition to promote the infiltration of storm water.	☐	2 nd (April-June)	☐	☐
Lighting Standards	Review lighting standards and study residential districts to reduce light pollution and nuisance.	☐	2 nd (April-June)	☐	☐
Health Club/Studio Use	Consider allowing health/fitness type activities in more areas of the City.	☐	3 rd (July-September)	☐	☒
Dumpster Enclosures	Expand the materials permitted/not permitted in dumpster enclosures.	☐	3 rd (July-September)	☒	☐
Definitions	Revisit key definitions to address any challenges presented and clean up verbiage to aid Planning Staff.	☐	4 th (October-December)	☐	☐

Next Up...

Topic	General Goals	City Commission Directive?	Quarter	Status	
				In Progress	Complete
Public Project Review	Place on joint meeting agenda to express concerns over the review process of public projects.	☐	-	☐	☐