



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY JUNE 11, 2025 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

- A.** Roll Call
- B.** Review and Approval of the Minutes of the Regular Meeting of **May 28, 2025**
- C.** Chairpersons' Comments
- D.** Review of the Agenda
- E.** Meeting Open to the Public for Items Not on the Printed Agenda
- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Community Impact Studies
- I.** Special Land Use Permits
- J.** Site Plan & Design Reviews
 - 1. **168 W. Maple – Teuta – Final Site Plan & Design Review Request for New Outdoor Dining Facility in W. Maple Right-of-Way.**
 - 2. **295 Elm – Forest Townhomes – Request for Re-Approval of Expired Final Site Plan & Design Review Approval for Attached Single-Family Townhomes.**
 - 3. **283 Hamilton Row – Marrow – Final Site Plan & Design Review Request for New Outdoor Dining Facility in Hamilton Row Right-of-Way.**
- K.** Study Session
 - 1. **Impervious Surface, Open Space & Lot Coverage – PUBLIC HEARING**
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - ii. **Joint Meeting – June 16, 2025**
 - iii. **Royal Oak Master Plan Adoption Notice**
 - 3. Administrative Approval Correspondence
 - i. **May 23, 2025 – June 6, 2025**
 - 4. Draft Agenda – **June 25, 2025**
 - 5. Action List – **2025**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/111656967>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

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Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-3405 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

City Of Birmingham
Regular Meeting Of The Planning Board
May 28, 2025
City Commission Room
151 Martin Street, Birmingham, Michigan

Minutes of the regular meeting of the City of Birmingham Planning Board held on May 28, 2025. The meeting was convened at 7:30 p.m.

A. Roll Call

Present: Chair Scott Clein, Vice Chair Bryan Williams; Board Members Robin Boyle, Daniel Share, Janelle Whipple-Boyce; Alternate Board Members Duncan Currie, Nasseem Ramin; Student Representatives Carter Anderson, Olivia Betanzos

Absent: Board Members Stuart Jeffares, Bert Koseck

Staff: Planning Director Dupuis; City Transcriptionist Eichenhorn

B. Approval Of The Minutes Of The Regular Planning Board Meeting of May 28, 2025

05-33-25

Motion by Share

Seconded by Williams to move approval of the May 14, 2025 minutes as corrected.

Motion carried, 7-0.

VOICE VOTE

Yeas: Ramin, Currie, Williams, Clein, Whipple-Boyce, Share, Boyle

Nays: None

C. Chair's Comments

The Chair welcomed everyone to the meeting and reviewed the meeting's procedures.

D. Review Of The Agenda

E. Meeting Open to the Public for Items Not on the Printed Agenda

F. Unfinished Business

G. Rezoning Applications

H. Community Impact Study and Site Plan Review

I. Special Land Use Permits

- 1. 479 S. Old Woodward – Birmingham Towers – Request for Special Land Use Permit to Modify Floor Plans and Seek Approval of a Parking Waiver Pursuant to Article 3, Section 3.04 (D)(3)(a) of the Zoning Ordinance**

Staff recommended that this item be re-noticed, and explained the recommendation.

Board member comments were as follows:

- The City Attorney found the notice complied with all applicable laws.
- The recommendation for re-noticing was in response to an inquiry from a resident.

05-34-25

Motion by Williams

Seconded by Whipple-Boyce to postpone consideration of special land use permit Item I1, 479 S. Old Woodward – Birmingham Towers, and also Item J1, site plan and design review for 479 S. Old Woodward – Birmingham Towers.

Board comment was as follows:

- **This was being postponed without a date certain since a full re-noticing would occur.**

Public Comment

Patrick Howe, attorney for the petitioner, commented the petitioner’s acceptance of the motion.

John Hoffler opposed postponement of the item.

Pat Hardy commented regarding the number of residents in attendance and the City’s practice of inviting residents to provide input on projects, and opposed postponement of the item.

Staff answered an informational question from Joan Schoop, who opposed the postponement of the item.

A resident commented regarding an item in front of her building and her frustration with the lack of prior notice regarding the postponement.

Sharon Hicks commented regarding this item being important to neighboring residents, and supported letting residents repeat other residents’ comments for the purpose of emphasis.

Motion carried, 7-0.

VOICE VOTE

Yeas: Ramin, Currie, Williams, Clein, Whipple-Boyce, Share, Boyle

Nays: None

2. 298 S. Old Woodward – Daxton Hotel – Request for Special Land Use Permit to Modify Required Off-Street Loading Facility.

PD Dupuis presented the item. Members of the applicant team spoke on behalf of the item. Informational questions from the Board were answered.

Board member comments were as follows:

- Staff viewed the addition of the laundry room and attendant ventilation as an internal, accessory use. If not for its relation to the overall variance request, it likely would have only received an administrative review.
- This would be a beneficial change to the area's traffic patterns, in terms of garbage removal and laundry delivery.
- The Daxton would be repairing the damaged granite.
- The Daxton's valet team manages its interactions with traffic well.
- Although the removal of the loading dock is proposed, the spirit of the ordinance would be satisfied through the use of the lower levels as a loading and unloading area.
- Designating a loading and unloading area on the site plan could mitigate the need for a variance. The applicant would otherwise have to convince the BZA that there is a hardship.
- There was some concern that if a variance were granted, and delivery vehicle sizes changed in the future, it could result in loading and unloading occurring on the adjacent streets.
- The applicant indicated that there was not a space in the lower level that would meet the measurement requirements for a loading dock.
- If the loading dock were removed, it might be appropriate to require that all deliveries to the Daxton occur in vehicles small enough to enter the lower level.
- While the City could attach a condition requiring small-vehicle deliveries, enforcement would be a challenge.
- Per the applicant, however, all deliveries with the exception of laundry were presently occurring via smaller vehicles in the lower level. Adding the laundry room would remove the one occasion where hotel-related delivery trucks are currently idling in street space.
- The hotel is well-run and has been a good neighbor so far. Past concerns about the proposed operations have not materialized. Adding a conditional requirement would give the City enforcement power if necessary.
- This proposal would improve the current trash and laundry conditions, and would reduce the large truck volume on Brown and S. Old Woodward.
- Many buildings in many urban centers do not have loading docks as part of their sites.

05-35-25

Motion by Share

Seconded by William to adopt the findings of the Planning Department in the report dated May 28, 2025, and the applicant's statements as to the way in which deliveries function at the present time made on the record tonight, related to the approval criteria outlined in Article 7, Section 7.36 of the Zoning Ordinance and recommend that the City Commission approval the Special Land Use Permit application for 298 S. Old Woodward – Daxton Hotel – with the following conditions:

- 1. The applicant may only receive deliveries at the hotel through van or other-sized vehicles that deliver within the lower floor parking facility on-site;**
- 2. The applicant must submit revised site plans demonstrating an off-street loading facility that meets the minimum requirements of the Zoning Ordinance or obtain a variance from the Board of Zoning Appeals; and,**
- 3. The applicant must comply with the requests of all City Departments.**

Motion carried, 7-0.

VOICE VOTE

Yeas: Ramin, Currie, Williams, Clein, Whipple-Boyce, Share, Boyle

Nays: None

J. Site Plan & Design Reviews

- 1. 479 S. Old Woodward – Birmingham Towers – Request for Final Site Plan & Design Review to Modify Floor Plans and Seek Approval of a Parking Waiver Pursuant to Article 3, Section 3.04 (D)(3)(a) of the Zoning Ordinance.**

Postponed via motion 05-34-25.

- 2. 298 S. Old Woodward – Daxton Hotel – Request for Final Site Plan & Design Review to Modify Required Off-Street Loading Facility.**

Discussion occurred during Item I2.

05-36-25

Motion by Share

Seconded by Williams to adopt the findings of the Planning Department in the report dated May 28, 2025, and the statements of the applicant on the record tonight as to the manner in which deliveries are handled at the facility, related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and to recommend approval of the final site plan and design review application for 298 S. Old Woodward – Daxton Hotel – with the following conditions:

- 1. The applicant may only receive deliveries at the hotel through van or other-sized vehicles that deliver within the lower floor parking facility on-site;**
- 2. The applicant must submit revised site plans demonstrating an off-street loading facility that meets the minimum requirements of the Zoning Ordinance or obtain a variance from the Board of Zoning Appeals; and,**
- 3. The applicant must comply with the requests of all City Departments.**

Motion carried, 7-0.

VOICE VOTE

Yeas: Ramin, Currie, Williams, Clein, Whipple-Boyce, Share, Boyle

Nays: None

- 3. 163 W. Maple – Origins Café – Final Site Plan & Design Review Request for New Outdoor Dining Platform in W. Maple Right-of-Way (POSTPONED FROM 4/23/25).**

PD Dupuis presented the item. Members of the applicant team spoke on behalf of the item. Informational questions from the Board were answered.

Board member comments were as follows:

- There was some concern that guest of the outdoor dining might shift the tables and/or chairs into the required clear path in the course of use. This might be reduced if the outdoor dining furniture were moved to the north a bit.
- This submission, in terms of provided detail, represented a meaningful improvement over the April 23, 2025 submission.
- The proposal would be an appealing addition.
- Board members would be paying attention to whether the outdoor dining furniture obstructs the clear path. This would be a factor to discuss at the annual renewal review. The applicant would be expected to ensure that the furniture does not move into the clear path.
- This is a well-run establishment.

Public Comment

Richard Sharer commented regarding parking concerns within the City.

05-37-25

Motion by Boyle

Seconded by Whipple-Boyce to adopt the findings of the Planning Department in the report dated May 28, 2025 related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and approve the Final Site Plan/Design Review application for 163 W. Maple – Origins Cafe – subject to the following conditions:

- 1. The applicant must submit and maintain a valid outdoor dining permit;**
- 2. The applicant must comply with the requests of all City Departments.**

Motion carried, 7-0.

VOICE VOTE

Yeas: Ramin, Currie, Williams, Clein, Whipple-Boyce, Share, Boyle

Nays: None

K. Study Session

L. Miscellaneous Business and Communications

- 1. Pre-Application Discussions**
- 2. Communications**
- 3. Administrative Approval Correspondence**
- 4. Draft Agenda**

Regarding the upcoming joint Planning Board-Commission meeting agenda, Board comment was as follows:

- The Board was seeking insight as to whether there was any interest in studying potential limitations of the on-street dining decks in terms of numbers, density, or location.
- A map of all on-street dining decks in the City, with the number of tables and chairs, should be provided.
- Staff should clarify whether there might be areas that could benefit from limitations of on-street dining decks.
- Concerns about on-street dining decks fragmenting parking were also raised.

- It should be explained that staff hopes to issue an RFP for the zoning ordinance update process in July 2025, and to have responses in August 2025.
- It might be appropriate to revisit the outdoor dining requirements within the bistro ordinance.

5. Action List

6. Other Business

M. Planning Division Action Items

- 1. Staff Report on Previous Requests**
- 2. Additional Items from tonight's meeting**

N. Adjournment

No further business being evident, the meeting adjourned at 8:47 p.m.



Nick Dupuis, Planning Director



Laura Eichenhorn, City Transcriptionist



MEMORANDUM

Planning Department

DATE: June 11, 2025

TO: Planning Board Members

FROM: Leah Blizinski, City Planner

SUBJECT: 168 W. Maple – Teuta – Final Site Plan & Design Review

The subject site is located on the north side of W. Maple between Pierce and Henrietta. The applicant is applying for the addition of an outdoor dining platform in the W. Maple right-of-way with 4 tables and 12 chairs total. There is one other approved outdoor dining platform on the same block on the north side of W. Maple two store front to the east at Dick O’ Dow’s. In addition, on May 28, 2025 ([Agenda](#) – [Video](#)) an outdoor dining platform was approved for Café Origins across the street from Dick O’ Dows, on the south side of W. Maple. There are no other changes proposed to the building or site.

On May 14, 2025 ([Agenda](#) – [Video](#)), the Planning Board reviewed the application and moved to postpone consideration to permit the applicant time to provide more detail on several important elements of the proposal, including the use of the ADA space and details and site amenities.

1.0 Land Use and Zoning

- 1.1 Existing Land Use – Single story commercial building.
- 1.2 Zoning – B4 (Business-Residential) & D4 (Downtown Overlay)
- 1.3 Summary of Adjacent Land Use and Zoning –

(This space intentionally left blank)

	North	South	East	West
Existing Land Use	Commercial	Commercial	Commercial	Commercial
Existing Zoning District	B4 (Business Residential)	B4 (Business Residential)	B4 (Business Residential)	B4 (Business Residential)
Overlay Zoning District	D4	D4	D4	D4

2.0 Setback and Height Requirements

No changes are proposed to the footprint of the building.

3.0 Screening and Landscaping

- 3.1 Dumpster Screening – There are no changes proposed to the dumpster or screening on site.
- 3.2 Parking Lot Screening – There are no off-street parking facilities on site.
- 3.3 Mechanical Equipment Screening – There are no changes proposed to the mechanical equipment or screening on site.
- 3.4 Landscaping – There are three planters proposed at the west and east ends of the platform, outside of the platform on the street/sidewalk. The site plan does not include information on the plantings inside the planters. The east planter is located within the ADA curb cut in the street and will not be able to be placed in this location. **The applicant will need to revise the plans to remove the planter within the ADA curb cut and to show the details of the vegetation included in the planters.**
- 3.5 Streetscape – There are no changes proposed to the existing streetscape on site.

4.0 Parking, Loading and Circulation

- 4.1 Parking – There are no changes to the parking requirements on site.
- 4.2 Loading – There are no changes proposed to the loading requirements.
- 4.3 Vehicular Circulation and Access – There are no changes proposed to vehicular circulation and access to the site.
- 4.4 Pedestrian Circulation and Access – There are no changes proposed to pedestrian circulation and access to the site.

5.0 Lighting

There are no new light fixtures or changes in lighting proposed that will significantly alter the light intensity on the site at this time.

6.0 Design Review

The proposed outdoor dining platform is subject to several design requirements found in Article 4, Section 4.44 of the Zoning Ordinance. In addition, the platform will be subject to the requirements of Chapter 98, Article II, Sec. 98-38 of the City Code.

Teuta is proposing to have 12 seats at 4 tables, all of which are placed on an outdoor dining platform. There are 2 planters located within the amenity zone outside of the footprint of the platform. The outdoor dining platform will occupy one on-street parking space. There is 1 more planter located outside of the on-street parking space, within the ADA curb cut on the street. **This planter will need to be moved or removed as it will not be able to be located within the ADA curb cut.**

The site plan also appears to show one trash can outside of the platform within amenity zone. The applicant proposes trexdeck as the material for the proposed platform deck and proposes to construct the platform flush with the curb as required by the ordinance. **To properly assess the design of the deck, the applicant must submit details on all proposed outdoor dining elements including, but not limited to, overhead weather protection, heating elements, and trash receptacles. The applicant must also submit a scaled side view of the plans, showing the dimensions of the height of the deck railings.**

The proposed platform does not impact the pedestrian zone and will maintain the required 5 ft. continuous clear path for pedestrian passage between the building frontage and the outdoor dining furniture. The distance from the building face to the nearest outdoor dining elements is unknown, as it is not marked on the plans.

As is required for all outdoor dining facilities, the applicant will be required to obtain an Outdoor Dining Permit annually. As the proposed platform is located in the public right-of-way, the applicant will be required to enter into a license agreement with the City as well. As a part of the annual outdoor dining permit process, the applicant is expected to pay fees to cover the loss in revenue of one on-street parking spaces as well as a general lease amount for the total square footage of public property that is being utilized.

Finally, as the proposed outdoor dining platform displaces a current ADA on-street parking space, the applicant will be required to reimburse the city's costs for moving the ADA space by one space to the east (if eligible), including signage and parking meter.

7.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Floor Plans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Site & Aerial Photographs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

8.0 Department Comments

8.1 Engineering Department – The Engineering Department will require the applicant to provide detailed plans for stormwater runoff as well as will need to confirm the eligibility of the adjacent parking space to be converted for ADA use.

9.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

1. *The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.*
 - The proposed outdoor dining platform will not affect the open space requirements of the site, as it is located within the public right-of-way.
2. *The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.*
 - There are no buildings proposed as a part of the Final Site Plan & Design Review application submitted.
3. *The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.*
 - There are no buildings proposed as a part of the Final Site Plan & Design Review application submitted.
4. *The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.*
 - The proposed outdoor dining platform does not extend beyond the limits of the existing limits of the parking spaces along W. Maple and thus would

not create any more of a pinch point or traffic hazard in terms of the projection into the travel lanes of W. Maple. Additionally, there would no longer be vehicles coming in and out of those spaces, which could create a safer condition. However, W. Maple is well traveled by large vehicles such as semi-trucks and buses that may have issues being in such close proximity to patrons on the platform. The platform proposes to displace a current on-street ADA parking space, however, it will need to be relocated nearby if it is determined that the adjacent space can't be made equally accessible (at the applicant's expense).

5. *The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.*

- There are no buildings proposed as a part of the Final Site Plan & Design Review application submitted. Generally speaking, though, outdoor dining facilities are compatible with Downtown Birmingham and promote the spirit and purpose of the Zoning Ordinance.

6. *The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.*

- There is no required landscaped open space as a part of this project.

10.0 Recommendation

Based on a review of the site plan submitted and the approval criteria of Article 7, Section 7.27 of the Zoning Ordinance, the Planning Department recommends that the Planning Board **APPROVE** the Final Site Plan/Design Review application for 168 W. Maple – Teuta – subject to the following conditions:

1. The applicant must submit revised plans without the planter within the ADA curb cut and to show the details of the vegetation included in the planters; and
2. The applicant must submit details on all proposed outdoor dining elements including, but not limited to, overhead weather protection, heating elements, and trash receptacles; and
3. The applicant must also submit a scaled side view of the plans, showing the dimensions of the height of the deck railings; and
4. The applicant must reimburse the city for all costs associated with moving the ADA space to the adjacent parking space (if eligible); and
5. The applicant must comply with the requests of all City Departments.

11.0 Sample Motion Language

Motion to adopt the findings of the Planning Department in the report dated May 9, 2025 related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and **APPROVE** the Final Site Plan/Design Review application for 168 W. Maple – Teuta – subject to the following conditions:

1. The applicant must submit revised plans without the planter within the ADA curb cut and to show the details of the vegetation included in the planters; and
2. The applicant must submit details on all proposed outdoor dining elements including, but not limited to, overhead weather protection, heating elements, and trash receptacles; and
3. The applicant must also submit a scaled side view of the plans, showing the dimensions of the height of the deck railings; and
4. The applicant must reimburse the city for all costs associated with moving the ADA space to the adjacent parking space (if eligible); and
5. The applicant must comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Final Site Plan & Design Review application for 168 W. Maple – Teuta – pending receipt of the following:

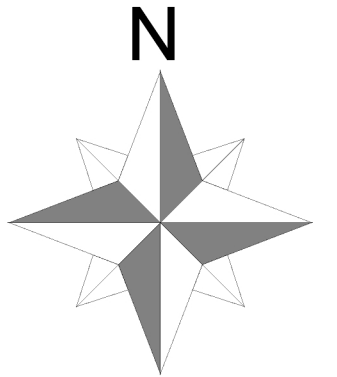
1. _____
2. _____
3. _____

OR

Motion to **DENY** the Final Site Plan & Design Review application for 168 W. Maple – Teuta – for the following reasons:

1. _____
2. _____
3. _____

TEUTA



28'-0"

17'-6"

14'-3"

8'

21'

TIMBER TECH AZEK AMERICAN OUTDOOR DINNING PLATFORM:

*COLOR: WALNUT
*21'-6" x 8'-0" DECK (170 SQ FT) WITH WESTBURY C10
2"x37" POST & C10 - 36" RAIL

*DECK MATERIALS & RAILING MATERIALS :
11 POSTS AND 40' RAILING

TEUTA -RESTAURANT

168 W MAPLE RD , BIRMINGHAM MI

DESIGN BY : MERDITAJ DESIGNS

* NOT TO SCALE

MAY 15, 2025



TEUTA

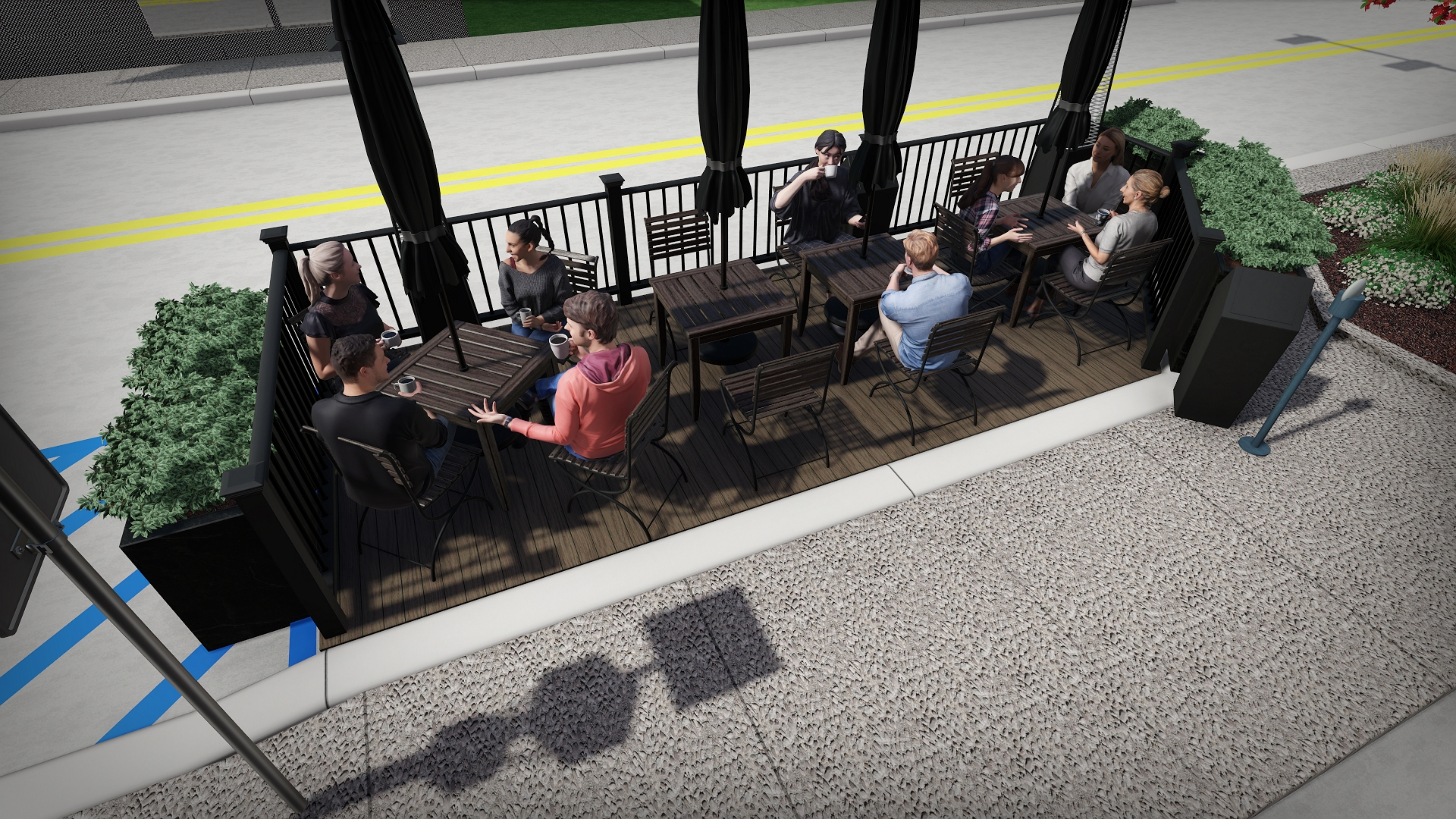


TEUTA



TEUTA





TEUTA





MEMORANDUM

Planning Department

DATE: June 11, 2025

TO: Planning Board Members

FROM: Leah Blizinski, City Planner

SUBJECT: 295 Elm St. – Forest Townhomes – Final Site Plan & Design Review

The applicant has submitted a reapplication for Final Site Plan and Design Review for the construction of 6 attached single family units in the O1 (Office) and ASF3 (Attached Single Family Overlay) zoning districts. The proposed development is located on the east side of Elm St. between Forest St. and Maple. The subject site is currently vacant and previously contained an office/commercial building and an associated off-street parking facility. The new development would introduce 6 new 3-story attached single family units, internal parking, and minor landscaping to the site.

On August 24th, 2022 ([Agenda](#) – [Minutes](#)) the Planning Board approved the Preliminary Site Plan review application for 295 Elm St. – Forest Townhomes – with the following conditions:

1. The applicant must submit a revised roof plan demonstrating adequate screening, and submit specification sheets for all new rooftop equipment at final site plan; and
2. The applicant prepares a footprint and massing of all adjacent buildings to the North, South, West and include the residential area to the East; and
3. The applicant must comply with the requests of all City Departments.

On September 28th, 2022 ([Agenda](#) – [Minutes](#)) the Planning Board approved the Final Site Plan and Design Review application for 295 Elm St. – Forest Townhomes – with the following conditions:

1. The applicant must submit a photometric plan to ensure the light intensity does not exceed the permitted levels at all property lines;
2. The Planning Board finds the use of 42 in. arborvitae to be an adequate screen wall material along the South side of the drive aisle;
3. The Planning Board approves modifications of the site plan to permit a 22ft. drive aisle; and
4. The applicant must comply with the requests of all City Departments.

On September 28th, 2023, the Final Site Plan and Design Review approvals for 295 Elm St. – Forest Townhomes expired due to no permits having been pulled within 1-year of site plan approval.

On January 24th, 2024 ([Agenda](#) – [Minutes](#)), the Planning Board approved the Final Site Plan and Design Review application for 295 Elm St. – Forest Townhomes – with the following conditions:

1. The applicant must submit a photometric plan that shows that light intensity does not exceed the permitted levels at all property lines; and
2. The applicant must comply with the requests of all City Departments.

On January 24th, 2025, the Final Site Plan and Design Review approvals for 295 Elm St. – Forest Townhomes expired due to no permits having been pulled within 1-year of site plan approval.

1.0 Land Use & Zoning

- 1.1 **Existing Land Use** – The existing land use is vacant (previously commercial), there was a 1.5-story office building and associated off-street parking facility, which has been demolished.
- 1.2 **Zoning** – The subject site exists within the O1 (Office) and ASF3 (Attached Single Family Overlay) Zoning Districts.
- 1.3 **Summary of Adjacent Land Use & Zoning** – The following chart summarizes existing land use and zoning classifications of the adjacent and/or nearby properties:

	North	South	East	West
Existing Land Use	Commercial/Office	Residential	Commercial/Office	Mixed Use
Existing Zoning District	O2 (Office-Commercial)	R2 (Single-Family Residential)	O1 (Office)	O2 (Office-Commercial)
Overlay Zoning District	MU3	ASF3	ASF3	MU3/MU5

2.0 Setback & Height Requirements

The attached zoning compliance summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. The applicant appears to meet the bulk, area and placement requirements of the ASF3 zone in the Triangle Overlay District.

3.0 Triangle District Urban Design Plan

In regards to the Triangle District Urban Design Plan (the "Triangle Plan"), the proposal captures many of the goals and objectives within by providing a high-quality building at

the frontage line, a more comfortable pedestrian experience, and the protection of the close by established residential neighborhood. The building is contemporary, and does not push any boundaries in terms of bulk, area or placement. Although no sustainable design elements are observed, there appears to be opportunities to do so by potentially offering electric vehicle charging within the garages, a green roof, or the recycling of building materials.

4.0 Screening & Landscaping

- 4.1 Dumpster Screening – The site plans submitted do not show a common waste storage area on the site. As is typically seen with these types of developments, trash is stored within the garage of each attached single-family unit. The applicant confirmed at preliminary site plan review that trash would be stored in roll-out bins in each individual unit's garage. The waste receptacles will be screened from view by the building.
- 4.2 Parking Lot Screening – There appears to be no changes to the parking lot screening from the previously approved Final Site Plans.
- 4.3 Mechanical Equipment Screening – The site plans proposed show a number of rooftop units proposed to be placed centrally on the rooftop above each unit. Based on the rooftop plan submitted, the applicant is proposing 3 ¼ ft. screen walls at all four sides of the rooftop. Article 4, Section 4.54(C)(8)(b) states that "to minimize the visual impact of such equipment from other points of observation, rooftop mechanical and other equipment shall be obscured by a screen wall composed of materials compatible with the building." The proposed plans appear to meet the ordinance.
- 4.4 Landscaping – The applicant has submitted a landscape plan for the site which includes 6 planter boxes, one adjacent to each unit entrance containing a decorative Japanese Maple tree and English Lavender bushes. Additionally, the applicant is proposing a row of mature arborvitae along the south side of the property, as well as a row of Gulf Muhly grass and a sodded green belt with built in irrigation system.

None of the plantings are present on the prohibited species list contained in Article 4, Section 4.20 of the Zoning Ordinance.

Although landscaping is not required in the ASF3/O1 zones, multiple family development such as this in other zones typically require deciduous and evergreen tree plantings. Due to the multiple-family development proposal and the sensitive location in between commercial and single-family zones, the applicant has included a row of 6' tall arborvitae along the South façade of the building as well as a row of Gulf Muhly grass.

- 4.5 Streetscape Elements – The applicant is not proposing any major changes to the streetscape at this time. Currently, the streetscape contains a 5 ft. sidewalk, sodded greenbelt, and 5 existing street trees (3 on Elm St., 2 on Forest Ave.). The applicant is proposing to plant the same number of trees.

Article 3, Section 3.12 outlines several streetscape standards for the Triangle Overlay District including the following applicable standards:

- Sidewalks in the Triangle Overlay District shall be a minimum of 12 feet wide. Sidewalks along Woodward Avenue shall be a minimum of 7 feet wide. The Planning Board may allow the sidewalk along blocks that are occupied by only residential uses to be a minimum of 5 feet wide.
- One (1) canopy tree shall be provided for every 40 feet of frontage planted within tree grates in the sidewalk.
- Pedestrian level street lighting of a decorative nature shall be installed along all sidewalks and shall be designed to promote the traditional neighborhood character of the area. Light fixtures shall meet the specification in the City of Birmingham. Hanging planters must be installed on all light fixtures as directed by the Planning Board.
- All developments shall be designed to accommodate bicycle travel, including the provision of bike racks. All parking structures and parking lots for commercial uses, recreational uses and institutional uses shall include sufficient bike racks to allow the parking of a minimum of one bike for every 10 automobiles or one bike for every 3,000 square feet of building floor area, whichever is greater.

It is worth noting that the All Seasons 2 development to the north, directly across from the alley has constructed a streetscape that conforms to the standards above. However, the ASF3 zoning district is a sensitive area between commercial and single-family zones that may benefit from a scaled-back streetscape design to better transition from heavier commercial development to residential areas. **The applicant is not proposing to reconstruct the streetscape and is proposing to maintain the existing 7’ greenbelt and 6’ sidewalk.**

5.0 Parking, Loading & Circulation

5.1 Parking – Article 4, Section 4.46 of the Zoning Ordinance requires the applicant to provide the following off-street parking for the uses proposed in the site plans submitted:

Proposed Use	Requirements	Area or Units	Spaces
3 or more room unit	2 spaces per unit	6	12
Total Required	-	-	12
Total Proposed	-	-	12

In addition to the parking required in Article 4, The Triangle Overlay District contains additional parking requirements In Article 3, Section 3.08(G). The applicant meets each requirement.

5.2 Loading – No off-street loading spaces are required for the residential use proposed.

5.3 Vehicle Circulation & Access – The site plans submitted indicate that the main vehicle access to the site will be through the public alley that exists on the north side of the property. This alley is used by several properties for access. Users of the site will enter into the alley from Elm St. and navigate to a drive aisle on private property to their private garage spaces.

5.4 Pedestrian Circulation & Access – Pedestrian access to the site will be through the main entrances to each unit off Elm St. The entrances are proposed to be elevated and accessed by landings.

6.0 Lighting

The applicant has submitted a basic exterior lighting design concept that consists of recessed lighting on the upper levels and wall sconces at the unit entrances, as well as specification sheets for proposed light fixtures. It appears that the lighting fixtures currently proposed are slightly different than those included in the previously approved site plans. At this time, the applicant has submitted a photometric plan that appears to meet the ordinance for illuminance levels at all property lines.

7.0 Departmental Reports

There are no changes from the previously approved Final Site Plans.

8.0 Design Review

The applicant has submitted elevation drawings with many material notes, as well as detailed specification sheets for all façade materials, windows & doors, railings, and other proposed materials.

The applicant will be required to meet the architectural requirements of the ASF3 zoning district outlined in Article 3, Section 3.10. At this stage, the proposal appears to meet all of the requirements of this section, including entrances facing the frontage line, a porch with steps, window/door standards, and high quality materials.

9.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

1. *The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.*
 - The proposed development has adequate landscaped open space so as to provide light, air, and access to the persons occupying the structure.
2. *The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.*
 - The location, size and height of the building, walls and fences will not interfere with adequate light, air and access to adjacent lands and buildings.
3. *The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.*
 - The location, size and height of the building, walls and fences will not hinder the reasonable development of adjoining property nor diminish the value thereof.
4. *The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.*
 - The site plan has only one curb cut of the existing public alley and will not interfere with any existing streets, driveways and sidewalks and will not interfere with or be hazardous to vehicular and pedestrian traffic.
5. *The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.*
 - The proposed residential townhome development is compatible with other residential and commercial uses in the neighborhood and will not be contrary to the spirit and purpose of this chapter.
6. *The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.*
 - There is no required landscaped open space as a part of this project.

11.0 Recommendation

Based on a review of the site plans submitted and the requirements outlined in Article 7, Section 7.27 of the Zoning Ordinance, the Planning Division recommends that the Planning Board **APPROVE** the Final Site Plan for 295 Elm St. – Forest Townhomes – with the following conditions:

1. The applicant must comply with the requests of all City Departments.

12.0 Sample Motion Language

Motion to adopt the findings of the Planning Department in the report date June 11, 2025 related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and **APPROVE** the Final Site Plan for 295 Elm St. – Forest Townhomes – with the following conditions:

1. The applicant must comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Final Site Plan for 295 Elm St. – Forest Townhomes – pending receipt of the following:

1. _____
2. _____
3. _____

OR

Motion to **DENY** the Final Site Plan for 295 Elm St. – Forest Townhomes – for the following reasons:

1. _____
2. _____
3. _____

**Zoning Compliance Summary Sheet
Preliminary Site Plan Review
295 Elm St. - Forest Townhomes**

Existing Site: 1.5 story office building and parking

Zoning: O1 (Office) & ASF3 (Attached Single Family Overlay)

Land Use: Commercial/Office

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Commercial/Office	Residential	Commercial/Office	Mixed Use
Existing Zoning District	O2 (Office-Commercial)	R2 (Single-Family Residential)	O1 (Office)	O2 (Office-Commercial)
Overlay Zoning District	MU3	ASF3	ASF3	MU3/MU5

Land Area:	Existing:	0.202 ac
	Proposed:	0.202 ac
Dwelling Units:	Existing:	0 units
	Proposed:	6 units
Minimum Lot Area/Unit:	Required:	1,280 sq. ft.
	Proposed:	1,467 sq. ft.
Min. Floor Area /Unit:	Required:	N/A
	Proposed:	2,125 sq. ft.
Max. Total Floor Area:	Required:	N/A
	Proposed:	2,125 sq. ft.
Min. Open Space:	Required:	N/A
	Proposed:	N/A
Max. Lot Coverage:	Required:	N/A
	Proposed:	N/A
Front Setback:	Required:	5 ft.

	Proposed:	5 ft.
Side Setbacks	Required:	No side yard between units 10 feet from side street on corner lot 9 feet from single-family lot
	Proposed:	10 ft. from Forest Ave.
Rear Setback:	Required:	10 feet for principal buildings
	Proposed:	10 ft.
Min. Front+Rear Setback	Required:	N/A
	Proposed:	N/A
Max. Bldg. Height:	Permitted:	35 ft., 3 stories
	Proposed:	32 ¼ ft., 3 stories
Min. Eave Height:	Required:	N/A
	Proposed:	N/A
Floor-Ceiling Height:	Required:	N/A
	Proposed:	N/A
Front Entry:	Required:	On frontage line
	Proposed:	On frontage line
Absence of Bldg. Façade:	Required:	N/A
	Proposed:	N/A
Opening Width:	Required:	N/A
	Proposed:	N/A
Parking:	Required:	12 off-street spaces
	Proposed:	12 off-street spaces
Min. Parking Space Size:	Required:	180 sq. ft.
	Proposed:	180 sq. ft.
Parking in Frontage:	Required:	N/A
	Proposed:	N/A
Loading Area:	Required:	N/A
	Proposed:	N/A

Screening:

<u>Parking:</u>	Required:	3 ft. masonry screen wall
	Proposed:	3.5 ft. arborvitae
<u>Loading:</u>	Required:	N/A
	Proposed:	N/A
<u>Rooftop Mechanical:</u>	Required:	Screened from view
	Proposed:	3 ¼ ft. screen wall on 2 sides
<u>Elect. Transformer:</u>	Required:	N/A
	Proposed:	N/A
<u>Dumpster:</u>	Required:	Masonry screen wall with wood gates
	Proposed:	Fully screened by building facade

FOREST TOWNHOUSES

295 ELM STREET
BIRMINGHAM ,MI. 48009

DRAWING INDEX	
DRAWING #	DRAWING TITLE
G-1	COVER SHEET
	EXISTING CONDITIONS
ST-1	SITE PLAN
ST-2	SITE PLAN 2
ST-3	ZONING
ST-3.1	ZONING UNDERLAY
ST-4	SITE PLAN / SURVEY
A-1	LANDSCAPE PLAN
A-2	INTERIOR FLOOR PLANS
A-3	FULL BUILDING FLOOR PLANS
A-4	ELEVATIONS (SOUTH & NORTH)
A-5	ELEVATIONS (EAST & WEST)
A-6	SECTIONS
A-7	TRASH PICKUP PLAN
A-8	ROOF PLAN
A-9	PHOTOMETRIC PLAN

PROJECT DESCRIPTION	
(6 UNITS) 3 STORY RESIDENTIAL TOWNHOUSES	

BUILDING CODE REVIEW	
CLASSIFICATION OF WORK : NEW CONSTRUCTION	
BUILDING	2015 MICHIGAN BUILDING CODE (R2 STRUCTURE)
ENERGY	2015 MICHIGAN ENERGY CODE- ASHRAE 90.1.2007
FIRE	2015 INTERNATIONAL FIRE CODE
PLUMBING	2015 MICHIGAN PLUMBING CODE
MECHANICAL	2015 MICHIGAN MECHANICAL CODE
ELECTRICAL	2017 NATIONAL ELECTRIC CODE

BUILDING INFORMATION	
USE CLASSIFICATION	R2
CONSTRUCTION CLASSIFICATION	TYPE : VB
GROSS BUILDING AREA	12,720 S.F.
REQUIRED EXITS PER SEC. 1006	2015 MICHIGAN BUILDING CODE
SPRINKLER SYSTEM REQUIRED	2015 MICHIGAN BUILDING CODE

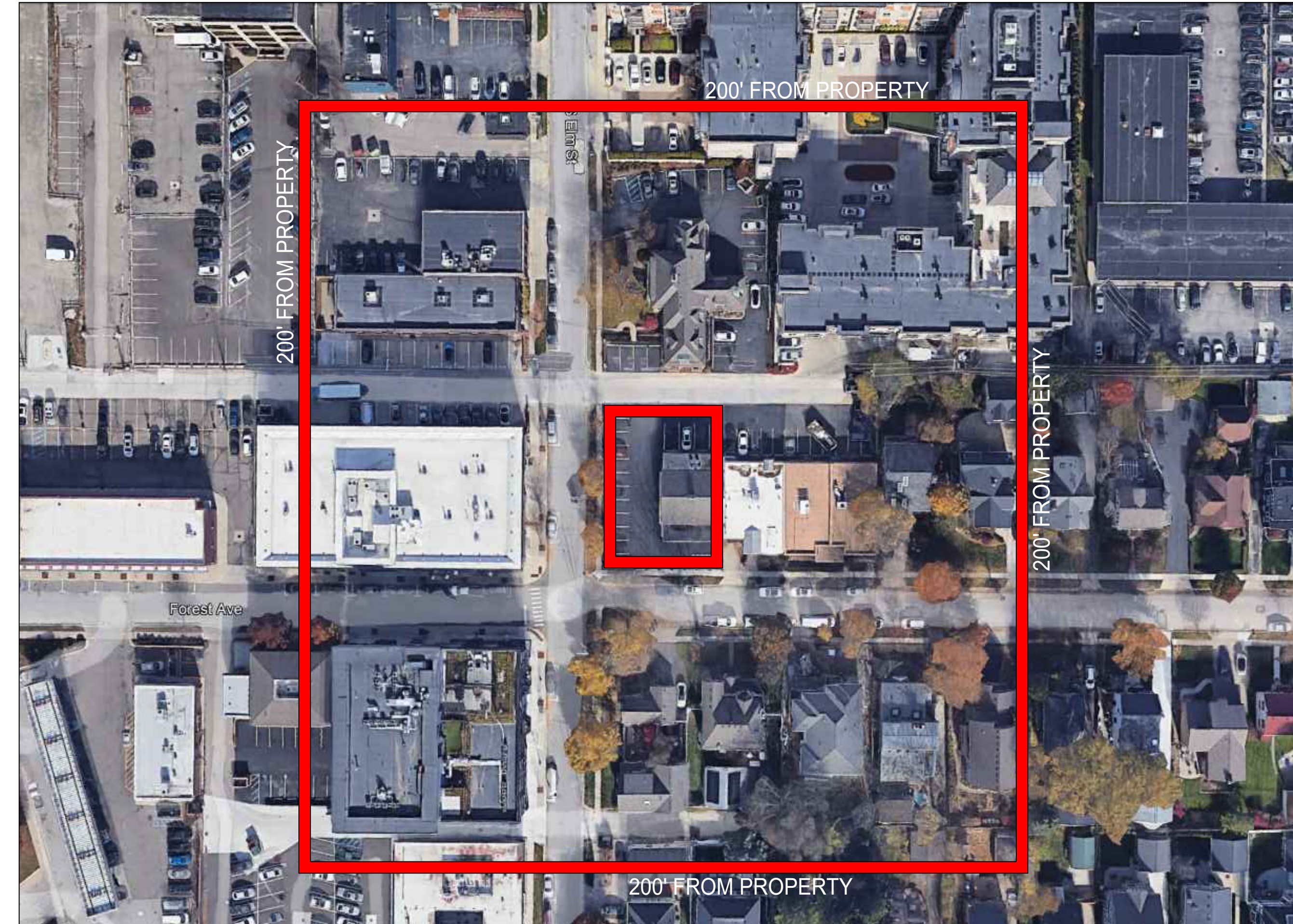
PROJECT SETBACKS	
DISTANCE	PROPERTY EDGE
5 FEET	FRONT SETBACK
10 FEET	REAR SETBACK
10 FEET	SIDE SETBACK (1 SIDE - FOREST STRET SIDE)

BUILDING CODE REVIEW	
LEGAL DESCRIPTION:	
ZONED 0-1 SITE AREA = 8,800 S.F = 0.386 AC. BUILDING AREA= 5,766 S.F BUILDING COVERAGE = 65.5%	

NOTES:	
Per section 903.2.8 2015 Michigan Building Code, an automatic sprinkler system is required for occupancies with a group R fire area.	



36880 WOODWARD AVENUE , BLOOMFIELD HILLS, MI. 48304
CELL: 313-482-0645
EMAIL: JOHN@MARSICHARCHITECTURE.COM



VICINITY MAP

05/15/2025

EXISTING SITE PHOTOGRAPHS

295 ELM STREET
BIRMINGHAM, MI. 48009



EXISTING ALLEY (LOOKING EAST)



EXISTING ALLEY / NORTH WEST PART OF SITE (LOOKING SOUTH-EAST)



EXISTING SOUTH SIDE OF SITE (LOOKING NORTH)



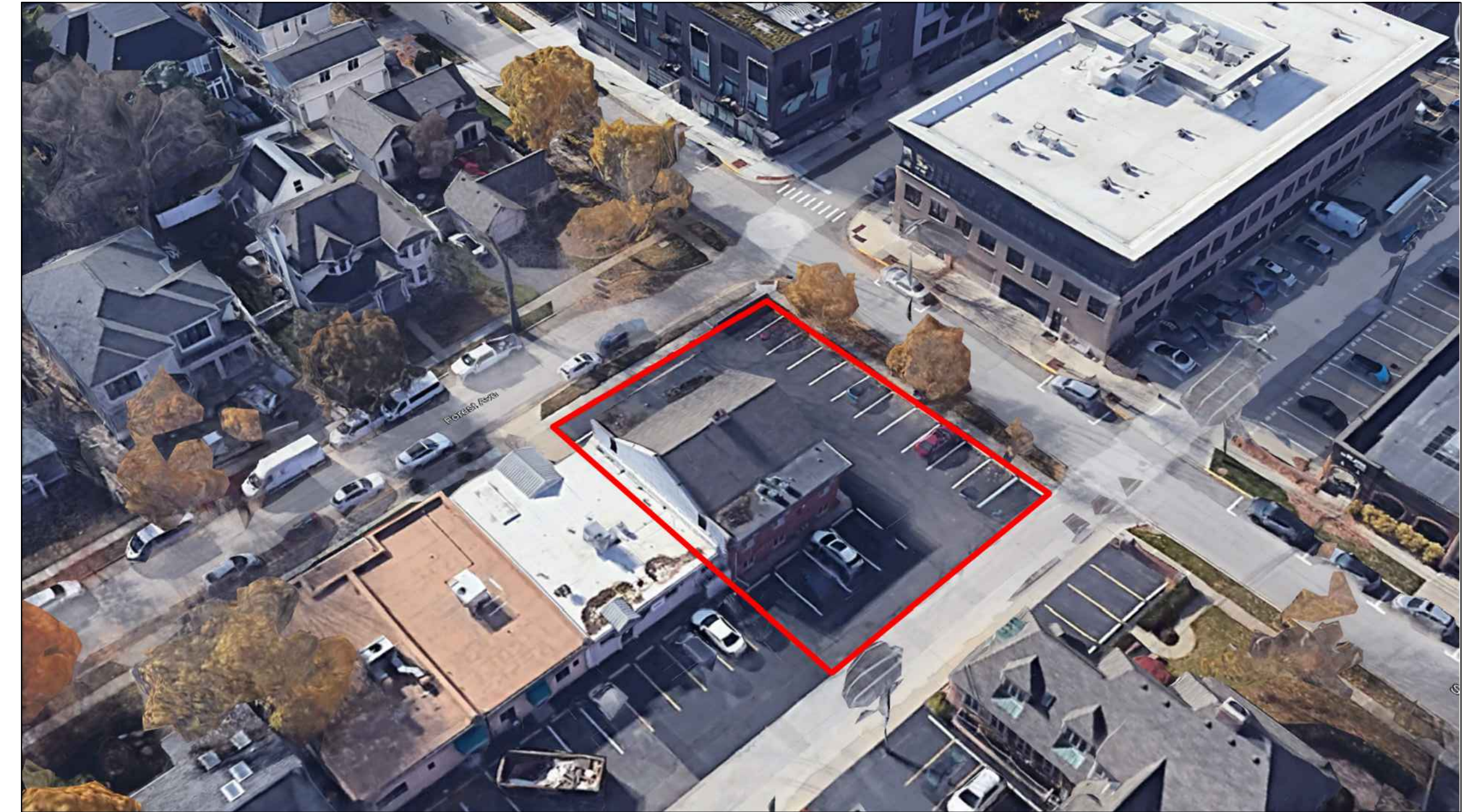
EXISTING SOUTH-WEST PART OF SITE (LOOKING EAST)

AERIAL PHOTOGRAPHS

295 ELM STREET
BIRMINGHAM ,MI. 48009



(LOOKING SOUTH-EAST)



(LOOKING SOUTH-WEST)



(LOOKING NORTH-WEST)



(LOOKING NORTH-EAST)



MARUSICH ARCHITECTURE

36880 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48304
SUITE 100

OFFICE: (248) 792-2949
CELL: (313) 482-0645

www.marusicharchitecture.com
johnm@marusicharchitecture.com

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OWNER

RUDI YALDO

PROJECT NAME

FOREST TOWNHOUSES

295 S ELM STREET
BIRMINGHAM, MICHIGAN 48009

PROJECT # 22 - 30

ISSUE DATE # 05/27/2022

REVISION HISTORY

OWNER REVIEW	05/27/2022
OWNER REVIEW	06/16/2022
FLOOR PLAN ST 1	06/17/2022
REVISION	06/30/2022
REVISION	07/07/2022
OWNER REVIEW	07/13/2022
OWNER REVIEW	07/26/2022
OWNER REVIEW	08/01/2022
OWNER REVIEW	08/31/2022
OWNER REVIEW	09/01/2022
OWNER REVIEW	09/23/2022
FSPA REVISED	01/24/2024
FSPA RE-SUBMITTAL	05/15/2025

DRAWN BY: MR & DC

CHECKED BY: JM

SHEET CONTENTS
SITE PLAN / ZONING

SEAL



05/15/2025

OWNER / OWNER'S AGENT APPROVED & ACCEPTED
DATE: / / 2022
SHEET # ST-3



(ZONING : B-2)

(ZONING: 0-2)

(ZONING: 0-2)

(ZONING: ASF-3)
(DENTIST)
(2,132 S.F. / 150 =
14.2 = 15 PARKING
SPACES REQUIRED)

(ZONING: ASF-3)
(LAW OFFICE)
(3,500 S.F. / 150 =
11.66 = 12 PARKING
SPACES REQUIRED)

(ZONING: R-2)

(ZONING: R-2)

SITE PLAN / ZONING MAP
SCALE: 1/16" = 1'-0"
NORTH

OWNER / OWNER'S AGENT APPROVED & ACCEPTED
DATE: / / 2022



MARUSICH ARCHITECTURE

36880 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48304
SUITE 100

OFFICE: (248) 792-2949
CELL: (313) 482-0645

www.marusicharchitecture.com
johnm@marusicharchitecture.com

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OWNER

RUDI YALDO

PROJECT NAME

FOREST TOWNHOUSES

295 S ELM STREET
BIRMINGHAM, MICHIGAN 48009

PROJECT #

22 - 30

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05/27/2022

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OWNER REVIEW	08/01/2022
OWNER REVIEW	08/31/2022
OWNER REVIEW	09/01/2022
OWNER REVIEW	09/23/2022
FSPA REVISED	01/24/2024
FSPA RE-SUBMITTAL	05/15/2025

DRAWN BY:

MR & DC

CHECKED BY:

JM

SHEET CONTENTS

SITE PLAN / SURVEY

SEAL



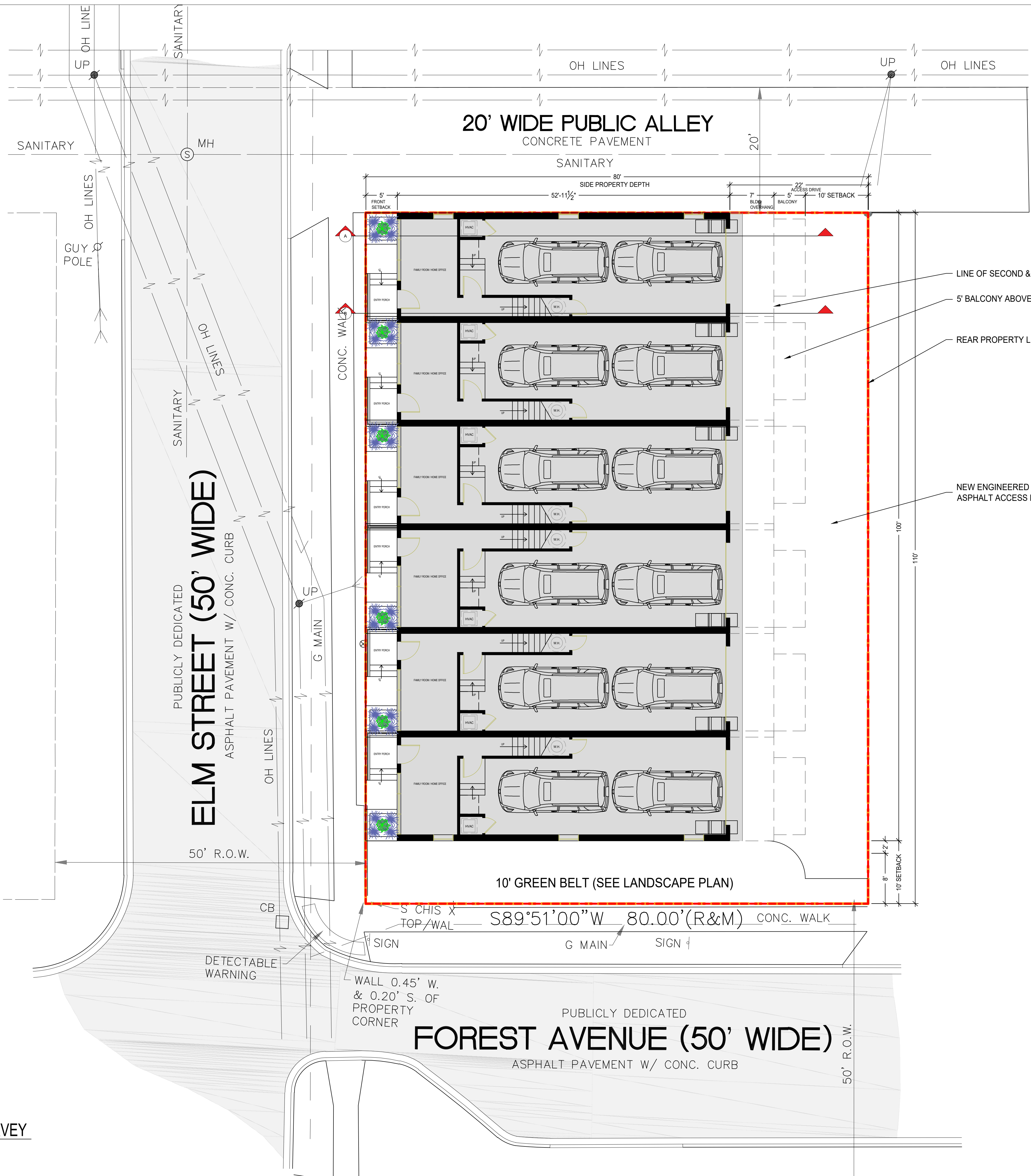
05/15/2025

OWNER / OWNER'S AGENT APPROVED & ACCEPTED

DATE: ___/___/2022

SHEET #

ST-4



20' WIDE PUBLIC ALLEY
CONCRETE PAVEMENT

ELM STREET (50' WIDE)
PUBLICLY DEDICATED
ASPHALT PAVEMENT W/ CONC. CURB

FOREST AVENUE (50' WIDE)
PUBLICLY DEDICATED
ASPHALT PAVEMENT W/ CONC. CURB

SITE PLAN / SURVEY
SCALE: 1/30" = 1'-0"
NORTH

CEMETERY NOTE

There was no observable evidence of cemeteries or burial grounds within the subject property.

UTILITY NOTE

All utilities are underground unless otherwise noted.

The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

NOTE: DTE has new regulations that may impact development outside their easement or the public right of way. Client shall contact DTE to determine the "New Structures and Power Line" requirements as they may apply to any future building or renovation of a structure. DTE Energy can be contacted at 800-477-4747.

SITE DATA

Gross Land Area: 2,058 Square Feet or 0.047 Acres.

Zoned: O1 (Office District)

Building Setbacks:

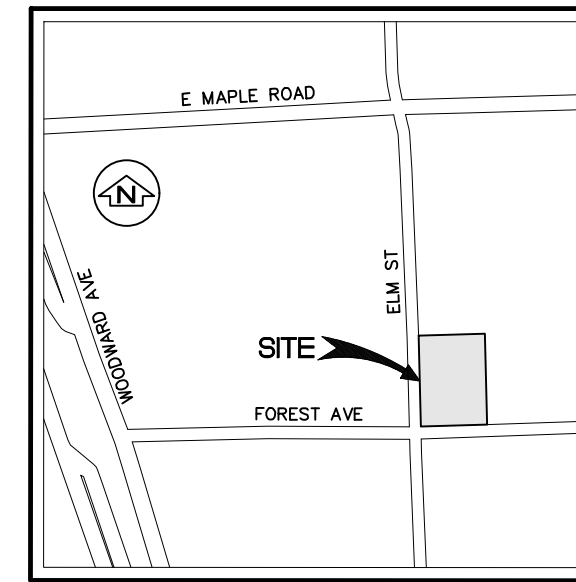
- Front= Average setback of buildings within 200', otherwise 0'
- Sides= No setback is required except on a corner lot which has on its side street an abutting interior lot, then such setback shall be equal to the minimum for the zoning district in which the building is located
- Rear= 10' when the rear open space abuts a P, B1, B2, B2B, B2C, B3, B4, O1, or O2 Zoning District
- 20' or height of the building, whichever is greater when adjacent to a residential zoning district

Max. Building Height permitted: 2 stories/28'

Total Parking: 17 spaces including 1 handicap/barrier free space.

The above setback & height requirements were obtained from the City of Birmingham Zoning Ordinance. Note: The building setback lines are not plotted hereon.

A surveyor cannot make a certification on the basis of an interpretation or opinion of another party. A zoning endorsement letter should be obtained from the City of Birmingham to insure conformity as well as make a final determination of the required building setback requirements.



LOCATION MAP

LEGAL DESCRIPTION

Land in the City of Birmingham, Oakland County, MI, described as follows:

Lot 3 and Lot 2 except East 40 feet, Block 2 of CAMPBELL SUBDIVISION according to the plat thereof recorded in Liber 4 of Plats, Page 30 of Oakland County Records.

295 Elm Street
Tax ID: 19-36-227-006

BASIS OF BEARING NOTE

The basis of bearing for this survey was established by the aforesaid recorded Plat.

TITLE NOTES

2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by making inquiry of persons in possession of the Land.

3. Easements, encumbrances, or claims thereof, not shown by the Public Records.

7. Interest of 295 Elm Street Company, a Michigan Limited Partnership, as disclosed by Quit Claim Deed recorded in Liber 7225, page 473 and Liber 7718, page 282. [DOCUMENTS DO NOT DESCRIBE ANY PLOTTABLE EASEMENTS OR PLOTTABLE RESTRICTIONS; THE SURVEYED LAND IS THE PROPERTY DESCRIBED IN SAID DOCUMENTS].

8. Easement(s), Restrictions and/or Setback Lines, if any, as disclosed by the recorded plat. [NONE].

9. Rights, title, and interests of the other owners of portions of the building partly located on the insured land and partly located on other land in the party walls, roof, chimneys, fixtures, and other appurtenances to the building susceptible to common use, whether or not they are located in whole or in part on the insured land or other land.

10. Interest of others in oil, gas and mineral rights, if any, whether or not recorded in the public records.

11. Interest, if any, of the United States, State of Michigan, or any political subdivision thereof, in the oil, gas and minerals in and under and that may be produced from the captioned land.

12. Rights of tenants, if any, under any unrecorded leases.

All exceptions shown or noted on this survey were obtained from Title Commitment No. 929856, with a Commitment date of 04-12-2021, issued by First American Title Insurance Company.

FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone X of the current available Flood Insurance Rate Map identified as Map No. 26125C0537F with an effective date of 09-29-2006.

TABLE A NOTES

16: There was no observable evidence of current earth moving work, building construction or building additions observed in the process of conducting the fieldwork.

17: There are no known proposed changes in street right-of-way lines available from the controlling jurisdiction.

17: There was no observable evidence of recent street or sidewalk construction or repairs observed in the process of conducting the fieldwork.

18: Improvements within offsite easements or servitudes as provided by the Title Company are shown within 25 feet of the subject land only.

SURVEYOR'S CERTIFICATION

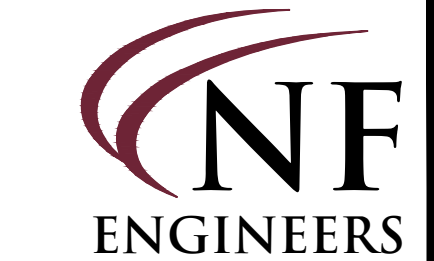
To:

Anthony Properties & Investments, LLC, a Michigan limited liability company
Paul Corby Associates, Inc., a Michigan Corporation
First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b1), 7(c), 8, 9, 11(a), 13, 14, 16, 17, 18 & 19 of Table A thereof.

The field work was completed on 05-12-2021.

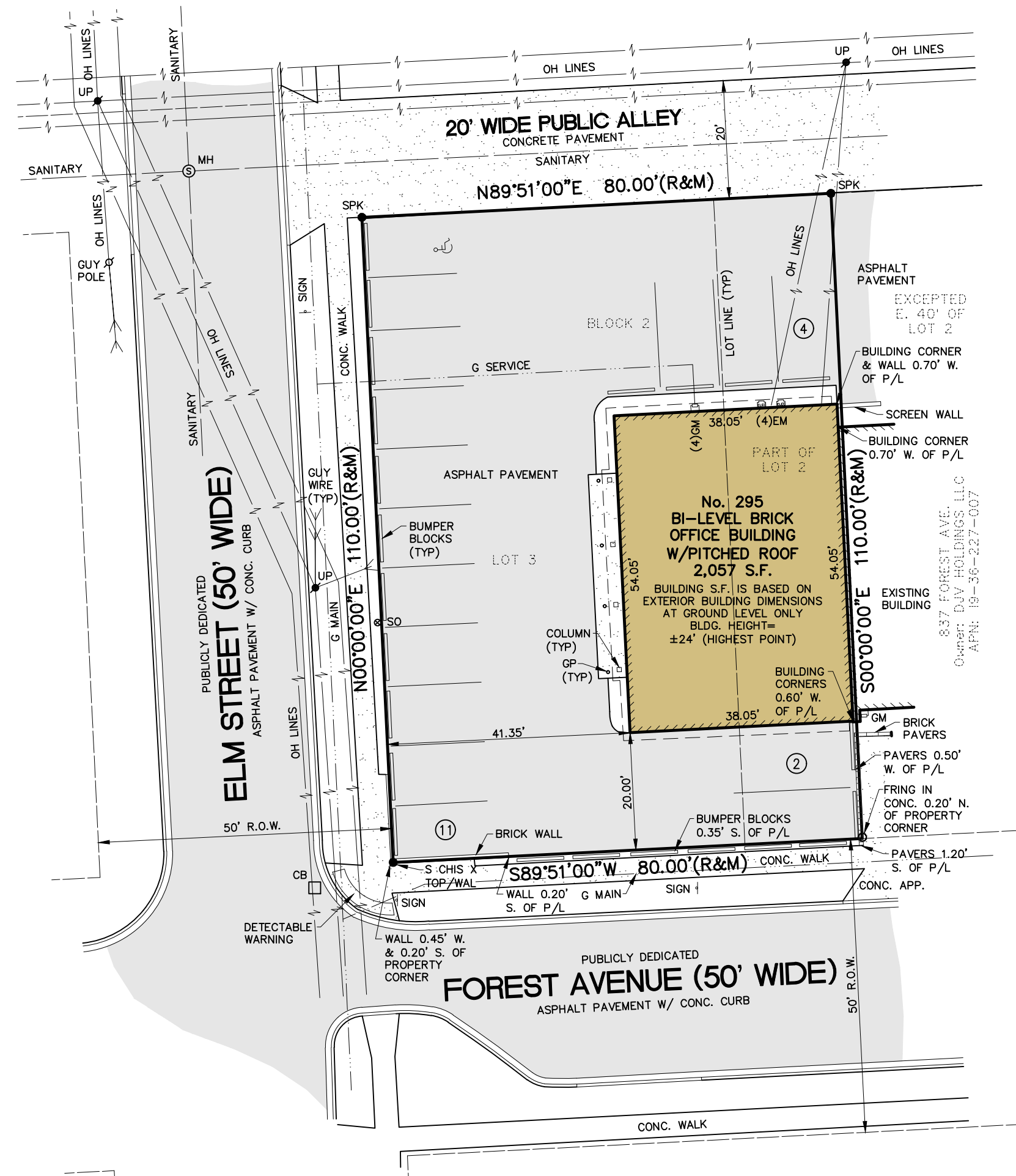
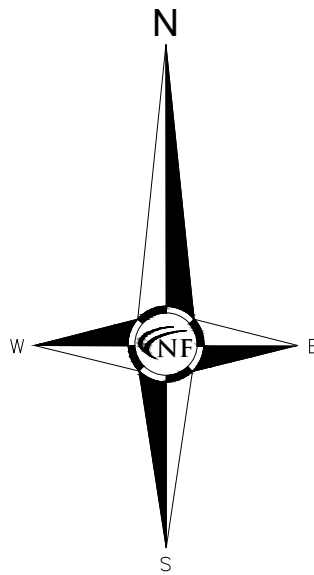

Kevin Christopher Navaroli, P.S.
No. 4001053503
Dated: 05-24-2021



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

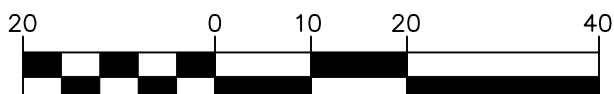
NOWAK & FRAUS ENGINEERS

46777 WOODWARD AVENUE
PONTIAC, MI 48342
TEL: (248) 332-7931
FAX: (248) 332-8257
www.nowakfraus.com
EMAIL: rfraus@nfe-engr.com



LEGEND

- ASPH = Asphalt
- C = Cable
- CATV = Cable TV/Box/Riser
- CB = Catch Basin
- CO = Clean Out
- CONC = Concrete
- E = Electric
- EM = Electric Meter
- EC = Electric Conduit/Riser
- F.I. = Found Iron
- G = Gas
- GL = Ground Light
- GP = Guard Post
- GV = Gate Valve
- HYD = Hydrant
- LP = Light Pole
- L/S = Landscape
- MH = Manhole
- MON. = Monument
- MW = Monitor Well
- OH LINES = Overhead Lines
- P = Phone/Box/Riser
- PH = Physically Handicapped
- PIV = Post Indicator Valve
- P/L = Property Line
- PM = Parking Meter
- ROW = Right of Way
- SAN = Sanitary Sewer
- SB = Stop Box (Water)
- S.I. = Set Iron
- SO = Shutoff (Water)
- STM = Storm Sewer
- TRANS = Transformer
- UP = Utility Pole
- WM = Water Main
- (R) = Record Measurement
- (M) = Surveyed Measurement
- (C) = Calculated



GRAPHIC SCALE 1"=20'

PROJECT

OFFICE BUILDING

PROJECT LOCATION

No. 295
Elm Street
Part of the NE. 1/4 of
Section 36, T.2N., R.10E.,
City of Birmingham,
Oakland County, MI

SHEET

ALTA / NSPS
Land Title Survey

REVISIONS

DRAWN BY:

A.G.

APPROVED BY:

K.N./R.FRAUS

EMAIL:

rfraus@nfe-engr.com

DATE ISSUED:

05-24-2021

SCALE:

1" = 20'

NFE JOB NO.

M357

SHEET NO.

1 of 1



MARUSICH ARCHITECTURE

36880 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48304
SUITE 100

OFFICE: (248) 792-2949
CELL: (313) 482-0645

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johnm@marusicharchitecture.com

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OWNER

RUDI YALDO

PROJECT NAME

FOREST TOWNHOUSES
295 S ELM STREET
BIRMINGHAM, MICHIGAN 48099

PROJECT #

22 - 30

ISSUE DATE #

05/27/2022

REVISION HISTORY

REVISION	DATE
OWNER REVIEW	05/27/2022
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FSPA REVISED	01/24/2024
FSPA RE-SUBMITTAL	05/15/2025

DRAWN BY:

MR & DC

CHECKED BY:

JM

SHEET CONTENTS

LANDSCAPE PLAN

SEAL

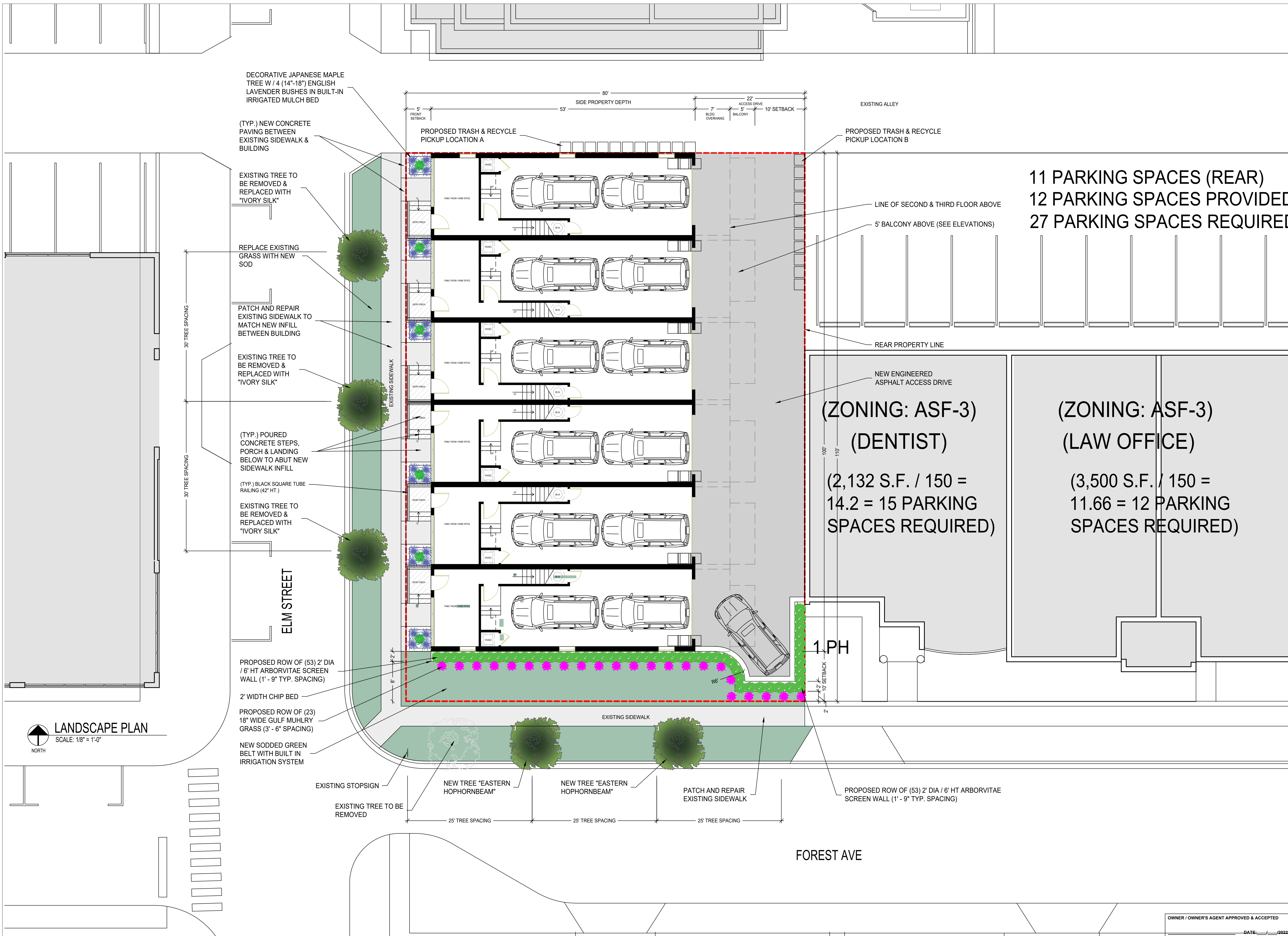


OWNER / OWNER'S AGENT APPROVED & ACCEPTED

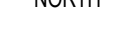
DATE: / / 2022

SHEET #

A-1



LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"





MARUSICH ARCHITECTURE

36880 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48304
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OWNER

RUDI YALDO

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295 S ELM STREET
BIRMINGHAM, MICHIGAN 48099

PROJECT # 22 - 30

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DRAWN BY: MR & DC

CHECKED BY: JM

SHEET CONTENTS
FLOOR PLANS

SEAL



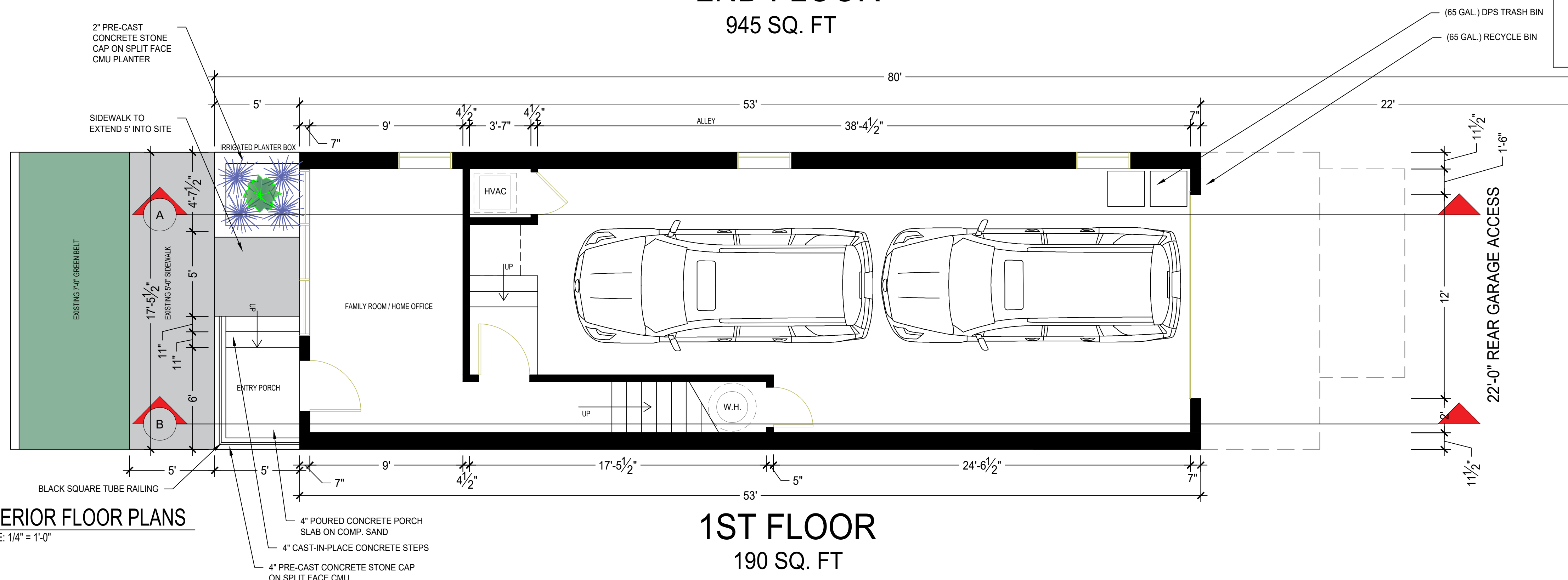
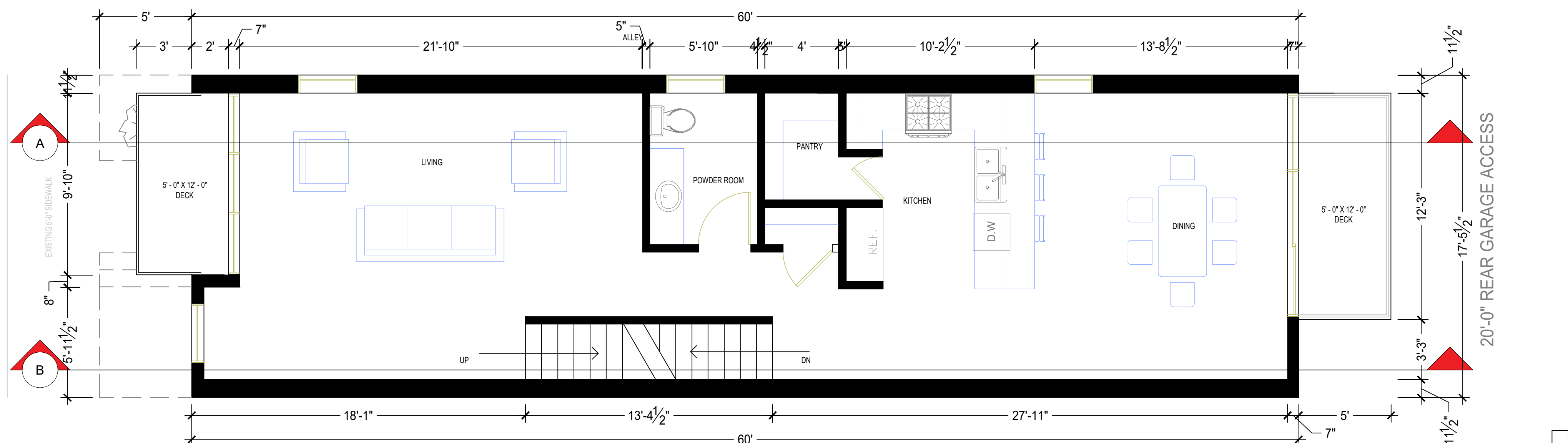
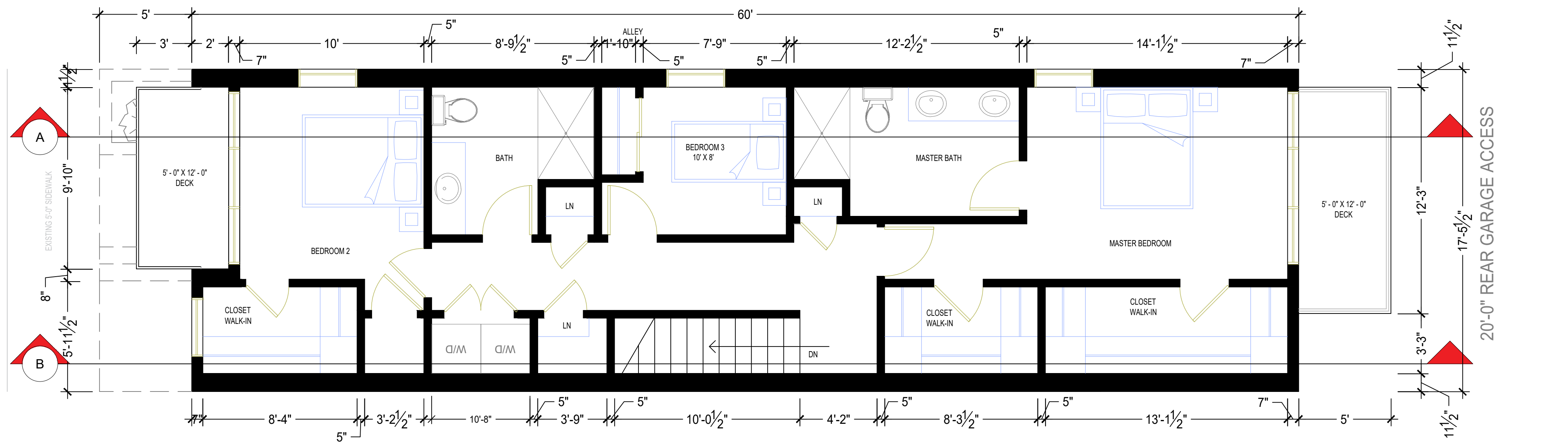
05/15/2025

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DATE: ___/___/2022

SHEET #

A-2



FRONT (ELM STREET SIDE)

FRONT (ELM STREET SIDE)

REAR (ALLEY SIDE)

REAR (ALLEY SIDE)

INTERIOR FLOOR PLANS
SCALE: 1/4" = 1'-0"
NORTH

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FSPA RE-SUBMITTAL	05/15/2025

DRAWN BY: MR & DC
CHECKED BY: JM

SHEET CONTENTS
EAST & WEST ELEVATIONS

SEAL
JOHN MARUSICH
ARCHITECT
MICHIGAN ARCHITECTS ASSOCIATION

DATE: 05/15/2025
SHEET #
A-4



WEST ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"

OWNER / OWNER'S AGENT APPROVED & ACCEPTED
DATE: ___/___/2022



MARUSICH ARCHITECTURE

36880 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48304
SUITE 100

OFFICE: (248) 792-2949
CELL: (313) 482-0645

www.marusicharchitecture.com
johnm@marusicharchitecture.com

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SHEET CONTENTS
NORTH & SOUTH ELEVATIONS

SEAL



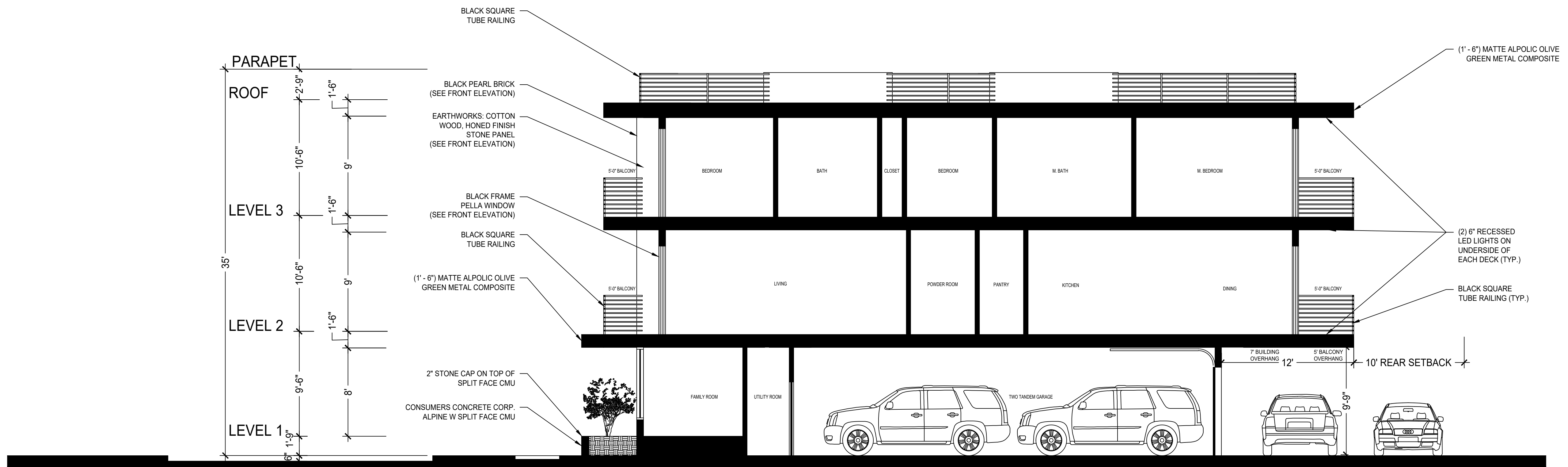
05/15/2025

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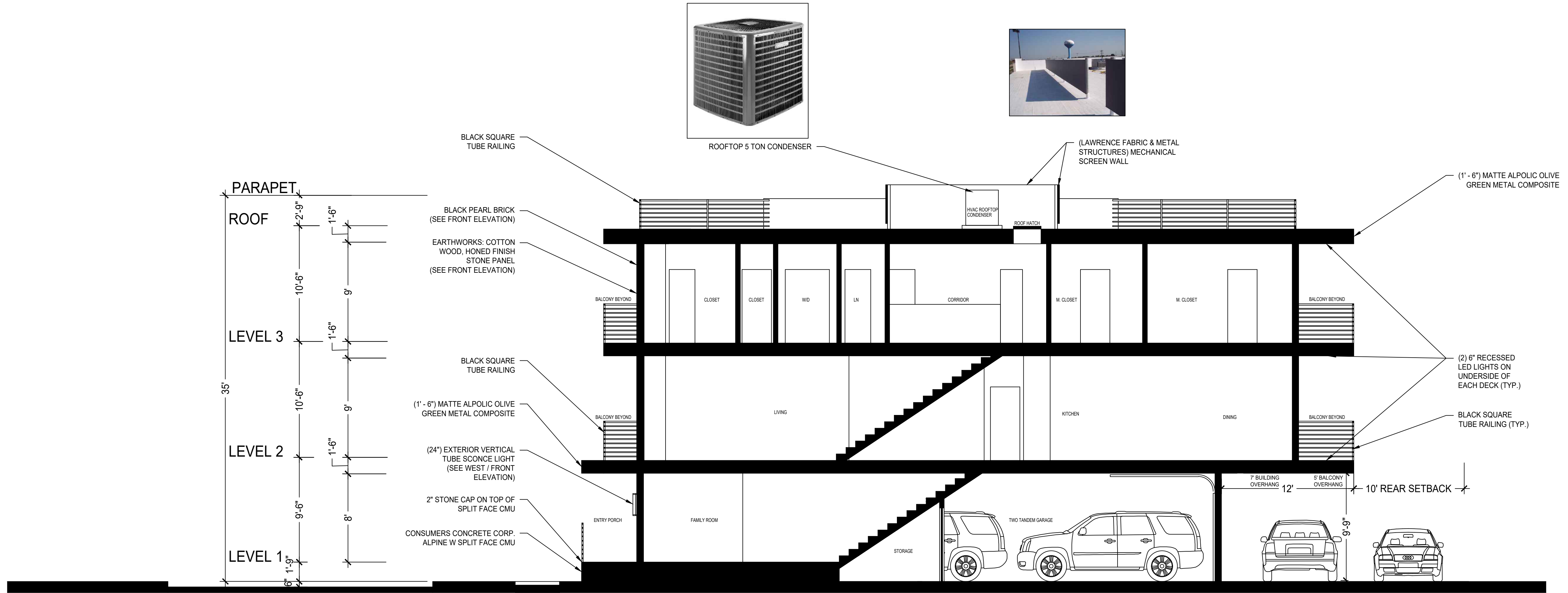
DATE: ___/___/2022

SHEET #

A-6



ELM STREET
BUILDING SECTION A
SCALE: 3/16" = 1'-0"



ELM STREET
BUILDING SECTION B
SCALE: 3/16" = 1'-0"



MARUSICH ARCHITECTURE

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www.marusicharchitecture.com
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FSPA RE-SUBMITTAL	05/15/2025

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SHEET CONTENTS
TRASH PICKUP PLAN

SEAL



05/15/2025

OWNER / OWNER'S AGENT APPROVED & ACCEPTED

SHEET # A-7

- TRASH & RECYCLE PICKUP LOCATION A
- TRASH & RECYCLE PICKUP LOCATION B

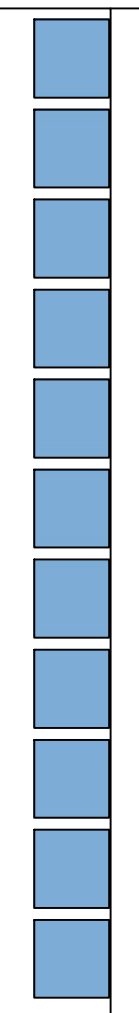
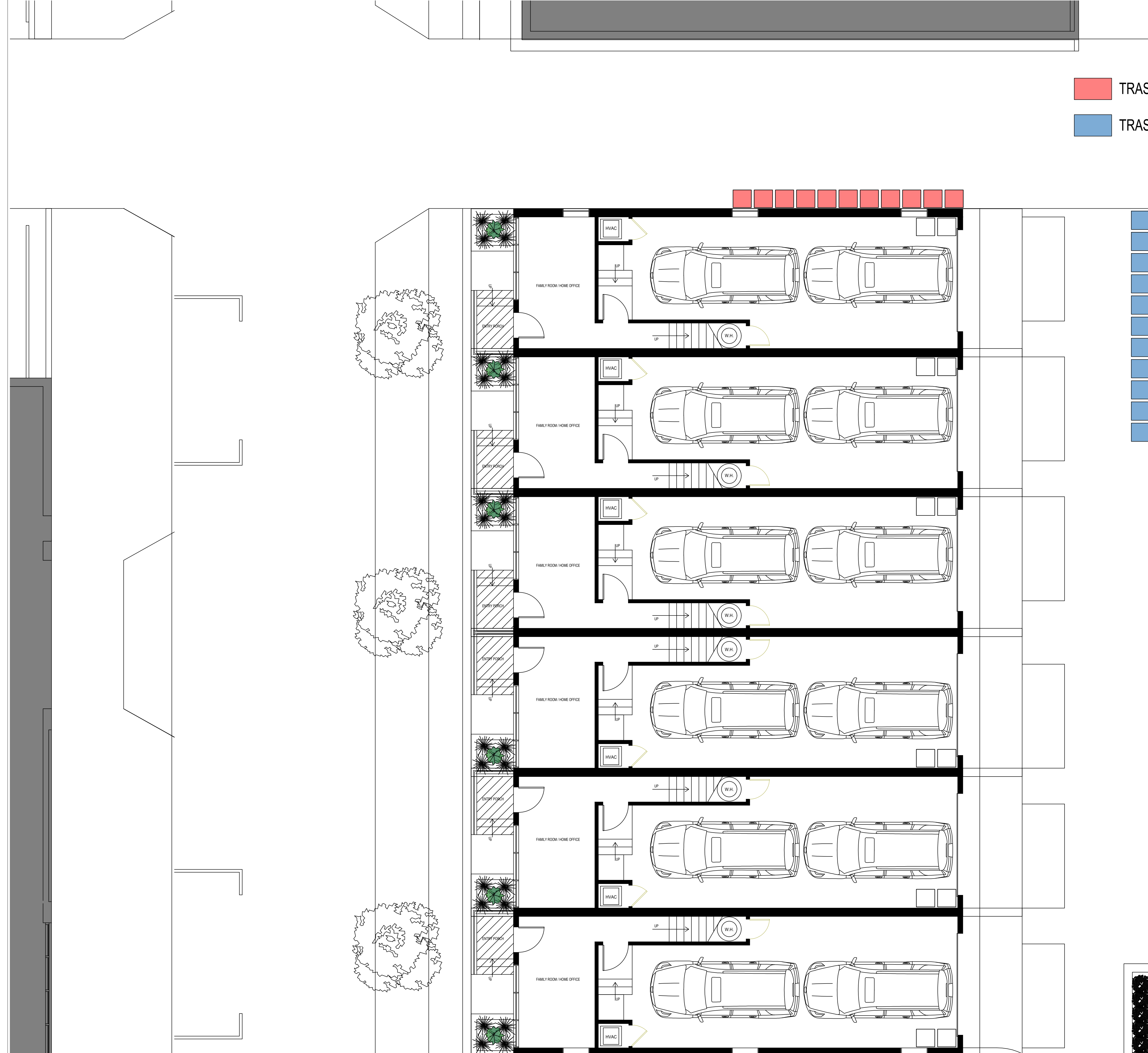
TRASH PICKUP PLAN
SCALE: 3/16" = 1'-0"



(ZONING: ASF-3)
(DENTIST)
(2,132 S.F. / 150 =
14.2 = 15 PARKING
SPACES REQUIRED)

1 PH

DATE: ___/___/2022



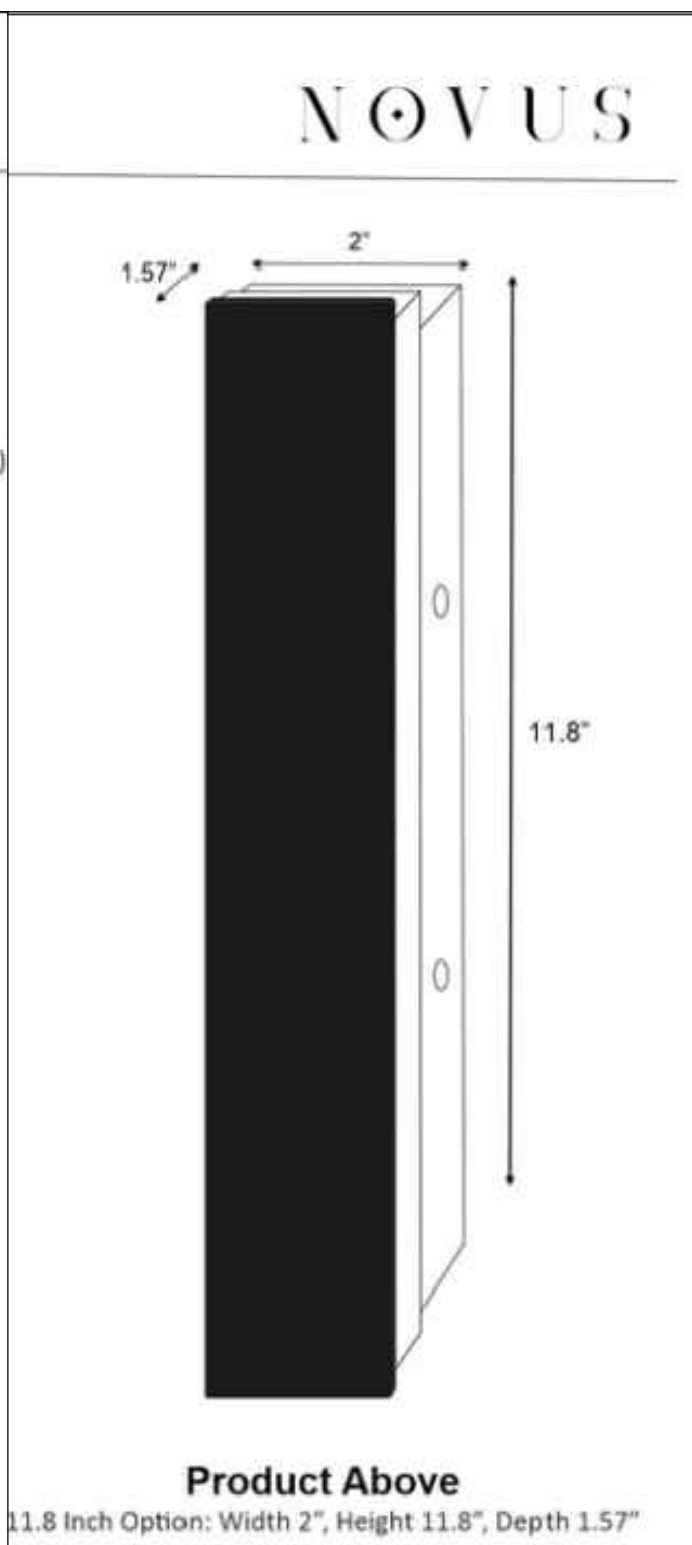
Armor Outdoor Wall Sconce
By Novus Decor

Details:
Product ID: AR2000
Finish: Matte Black
Material: Aluminum
Warranty: 5 Year
Ratings: UL, CCC, CE, IP65(Water Resistance)
Dimmable: Product Selection(Changeable with Remote)
Product Origin: China

- Dimensions:**
- 11.8 Inch Option: Width 2", Height 11.8", Depth 1.57"
 - 23.6 Inch Option: Width 2", Height 23.6", Depth 1.57"
 - 31.5 Inch Option: Width 2", Height 31.5", Depth 1.57"
 - 39.4 Inch Option: Width 2", Height 39.4", Depth 1.57"
 - 47.2 Inch Option: Width 2", Height 47.2", Depth 1.57"
 - 59.0 Inch Option: Width 2", Height 59.0", Depth 1.57"
 - 67.0 Inch Option: Width 2", Height 67.0", Depth 1.57"
 - 78.7 Inch Option: Width 2", Height 78.7", Depth 1.57"
 - 94.5 Inch Option: Width 2", Height 94.5", Depth 1.57"

- Lighting:**
- 11.8 Inch Option: 9 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 23.6 Inch Option: 19 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 31.5 Inch Option: 24 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 39.4 Inch Option: 30 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 47.2 Inch Option: 38 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 59.0 Inch Option: 45 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 67.0 Inch Option: 55 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 78.7 Inch Option: 60 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K
 - 94.5 Inch Option: 90 Watt 120 Volt Integrated LED; Color Temp: Warm White 3000K/Cool White 6000K

Product Link: <https://www.novus-decor.com/collections/wall-lights/products/armor-black-outdoor-wall-sconce>



Symbol	QTY	Manufacturer	Description	Lamp	Wattage	Mounting Height
	18	Progress Lighting	Recessed can-light w / shielded cutoff	LED	10W	9' - 9"
	12	Novus Decor	Outdoor wall sconce (BACKLIT)	LED	19W	5' - 11"

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 6' - 0"
 - THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. TO BE VERIFIED IN FIELD BY OTHERS.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURERS LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

PROGRESS LIGHTING
P8061 SERIES
SIN LED New Construction And Retrofit - Wet location listed PROGRESS LED

Description:
The P8061 is ideal for use in both new construction as well as retrofit with light fixture compatible with a range of LED luminaire technology, providing an 18 percent energy saving. The P8061 is recessed with both 1/2" and 3/4" depth options. It is compatible with the standard 1/2" and 3/4" depth recessed ceiling applications.

Specifications:
- LED Luminaire
- Recessed ceiling fixture with adjustable beam angle
- 1/2" and 3/4" depth options with 180° beam angle
- Can be used in most common 7" recessed ceiling
- Compatible with most LED luminaire technology
- Suitable for use in 1" to 2" deep applications
- Recessed ceiling fixture with 1/2" and 3/4" depth options
- Max. Cable Size: 1/2" (1/2")
- The product is not suitable for use in the field of ceiling
- (NEMA) (NEMA) (NEMA)
- Max. Cable Size: 1/2" (1/2")

Performance:
Light Output: 1000
Input Power: 10W
Power Factor: 0.95
Efficiency: 170lm/10W
CCT: 3000K
CRI: 90
Life Span: 50,000 hours (L70/B50)
Warranty: 5 Year
Material: Aluminum
Color: Matte Black
Max. Cable Size: 1/2" (1/2")
Max. Cable Size: 3/4" (3/4")

Dimensions:
(A) Depth: 1/2" (1/2")
(B) Depth: 3/4" (3/4")
(C) Light Emitting Surface (LES) 3.5"

PROGRESS LIGHTING
P8061 SERIES
SIN LED New Construction And Retrofit - Wet location listed PROGRESS LED

Photometrics:
P8061-28-30K

ELECTRICAL DATA:
Type: Recessed
Input Voltage: 120V
Input Power: 10W
Power Factor: 0.95
Efficiency: 170lm/10W
CCT: 3000K
CRI: 90
Life Span: 50,000 hours (L70/B50)
Warranty: 5 Year
Material: Aluminum
Color: Matte Black
Max. Cable Size: 1/2" (1/2")
Max. Cable Size: 3/4" (3/4")

PHOTOMETRIC DATA:

Beam Angle	Beam Diameter (ft)	Beam Diameter (in)	Beam Area (sq ft)	Beam Area (sq in)	Footcandle (fc)	Footcandle (fc)
0°	0.00	0.00	0.00	0.00	1000	1000
1°	0.02	0.25	0.00	0.00	1000	1000
2°	0.04	0.50	0.00	0.00	1000	1000
3°	0.06	0.75	0.00	0.00	1000	1000
4°	0.08	1.00	0.00	0.00	1000	1000
5°	0.10	1.25	0.00	0.00	1000	1000
6°	0.12	1.50	0.00	0.00	1000	1000
7°	0.14	1.75	0.00	0.00	1000	1000
8°	0.16	2.00	0.00	0.00	1000	1000
9°	0.18	2.25	0.00	0.00	1000	1000
10°	0.20	2.50	0.00	0.00	1000	1000
15°	0.30	3.75	0.00	0.00	1000	1000
20°	0.40	5.00	0.00	0.00	1000	1000
25°	0.50	6.25	0.00	0.00	1000	1000
30°	0.60	7.50	0.00	0.00	1000	1000
35°	0.70	8.75	0.00	0.00	1000	1000
40°	0.80	10.00	0.00	0.00	1000	1000
45°	0.90	11.25	0.00	0.00	1000	1000
50°	1.00	12.50	0.00	0.00	1000	1000
55°	1.10	13.75	0.00	0.00	1000	1000
60°	1.20	15.00	0.00	0.00	1000	1000
65°	1.30	16.25	0.00	0.00	1000	1000
70°	1.40	17.50	0.00	0.00	1000	1000
75°	1.50	18.75	0.00	0.00	1000	1000
80°	1.60	20.00	0.00	0.00	1000	1000
85°	1.70	21.25	0.00	0.00	1000	1000
90°	1.80	22.50	0.00	0.00	1000	1000

PROGRESS LIGHTING
P8061 SERIES
SIN LED New Construction And Retrofit - Wet location listed PROGRESS LED

Mounting Details:
P8061 is designed to be compatible with most 7" recessed ceiling. This fixture is a parallel fit to most compatible recessed ceiling.

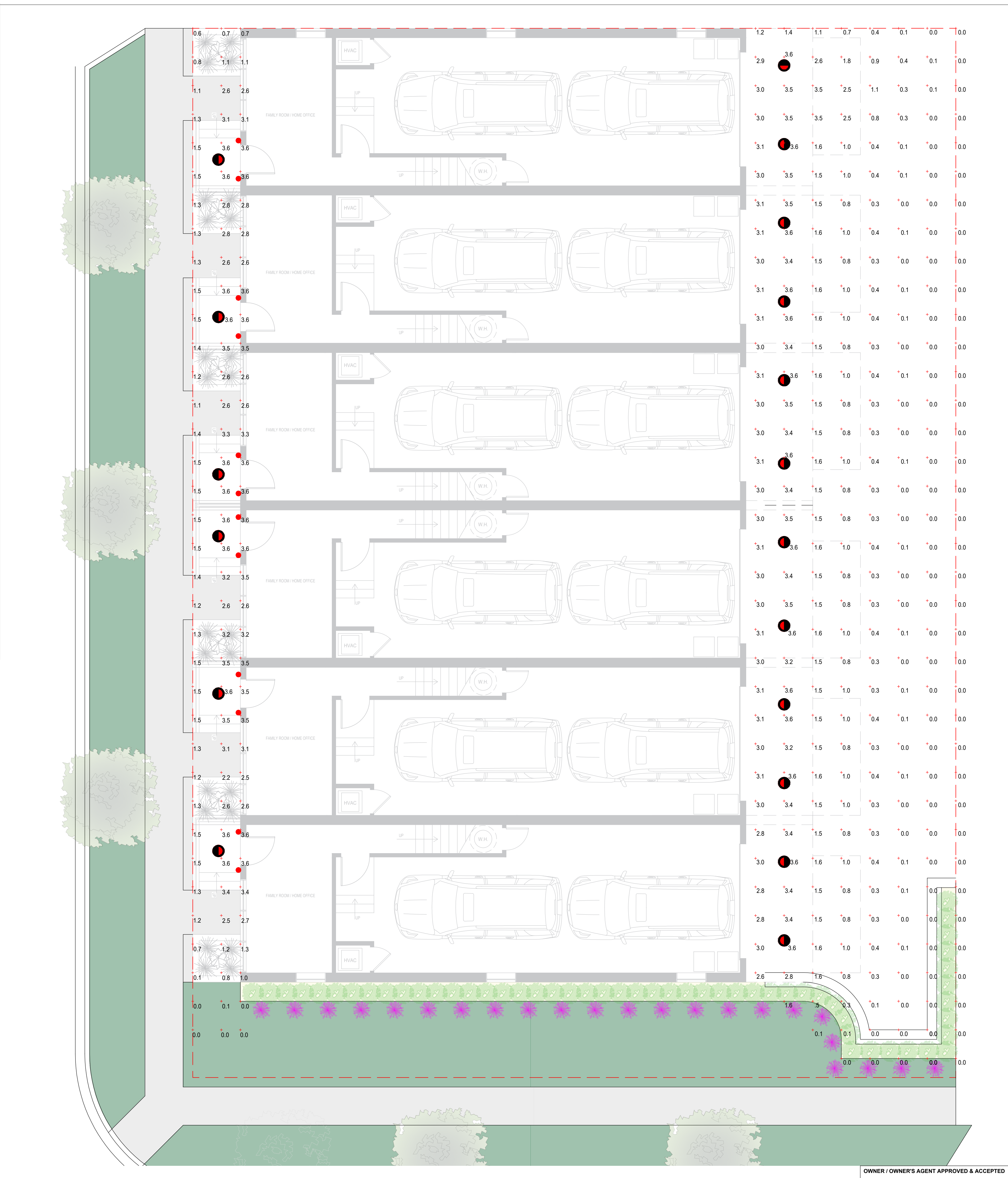
Mounting Controls:
Luminaire: P8061
Luminaire: P8061
Luminaire: P8061
Luminaire: P8061

Mounting Options:
Mounting options will vary depending on the luminaire selected. Please refer to luminaire manufacturer's instructions for specific requirements.
Mounting options will vary depending on the luminaire selected. Please refer to luminaire manufacturer's instructions for specific requirements.



RECESSED LIGHT HALF SHADE (SHIELDED CUTOFF)

PHOTOMETRIC PLAN
SCALE: 3/16" = 1'-0"



MARUSICH ARCHITECTURE
36880 WOODWARD AVENUE
BLOOMFIELD HILLS, MI 48304
SUITE 100
OFFICE: (248) 792-2949
CELL: (313) 482-0645
www.marusicharchitecture.com
johnm@marusicharchitecture.com

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OWNER
ANTHONY PROPERTIES AND INVESTMENT LLC
2707 TURTLE LAKE DRIVE
BLOOMFIELD HILLS, MI 48302

PROJECT NAME
FOREST TOWNHOUSES
295 S ELM STREET
BIRMINGHAM, MICHIGAN 48009

PROJECT # 22 - 30
ISSUE DATE # 05/27/2022

REVISION HISTORY

REVISION	DATE
OWNER REVIEW	05/27/2022
OWNER REVIEW	06/16/2022
FLOOR PLAN ST 1	06/17/2022
REVISION	06/30/2022
REVISION	07/07/2022
OWNER REVIEW	07/13/2022
OWNER REVIEW	07/26/2022
OWNER REVIEW	08/01/2022
OWNER REVIEW	08/31/2022
OWNER REVIEW	09/01/2022
OWNER REVIEW	09/23/2022
FSPA REVISED	01/24/2024
FSPA RE-SUBMITTAL	05/15/2025

DRAWN BY: MR & DC
CHECKED BY: JM

SHEET CONTENTS
PHOTOMETRIC PLAN

SEAL
JOHN M. MARUSICH
LICENSED PROFESSIONAL ARCHITECT
MICHIGAN
05/15/2025

OWNER / OWNER'S AGENT APPROVED & ACCEPTED
SHEET # A-9
DATE: 05/15/2025

WOOD FINISH SPEC SHEET



NICHIHA FIBER CEMENT VINTAGEWOOD / REDWOOD

AWP 1818	
Dimensions (in.)	17 7/8 H x 71 9/16 L
Dimensions (actual mm)	455 H x 1818 L
Thickness (in.)	5/8
Thickness (actual mm)	16
Weight (lbs. per panel)	34.8
Weight (lbs. per sq. ft.)	3.9
Exposed Coverage (sq. ft. per panel)	8.88
Packaging (pieces per pack)	2 [17.76 sq. ft.]
Panel Orientation	Horizontal
AWP 3030	
Dimensions (in.)	17 7/8 H x 119 5/16 L
Dimensions (actual mm)	455 H x 3030 L
Thickness (in.)	5/8
Thickness (actual mm)	16
Weight (lbs. per panel)	57.3
Weight (lbs. per sq. ft.)	3.8
Exposed Coverage (sq. ft. per panel)	14.81
Packaging (pieces per pack)	2 [29.62 SQ. FT.]
Panel Orientation	Horizontal or Vertical

Porch Ceiling in Karri	
943	
Karri	
Material	Aluminum
Texture	Smooth
Finish	Matte
Products	Porch Ceiling, Inside Out
Features	Q800 TuffTech

VESTA ALUMINUM PORCH CEILING PANEL

Aluminum		SPECIFICATIONS
Technical Data		
ALLOY OR EQUIVALENT 3105 type DENSITY 0.170 lb/ft MINIMUM ULTIMATE TENSILE STRENGTH 22,000-28,000 psi MINIMUM ULTIMATE YIELD STRENGTH 18,000-25,000 psi MINIMUM ELONGATION 1-3% MODULUS OF ELASTICITY 10 COEFFICIENT OF LINEAR EXPANSION 13.1 u-in/in/°F MELTING RANGE 1190-1210°F THERMAL CONDUCTIVITY AT 77°F 1190 BTU-in/h2-hr-°F HARDNESS Rockwell 15T, 63-70 Gutter Coil & Components: Brinell 45HB No-Mar Q5000® Trim Coil: H28 Partially Annealed, Full Hard Fascia and Soffit: H28 Partially Annealed 3/4 Hard FLEXIBILITY 1T NC/NT0: For Fascia and Soffit, system flexibility varies with basecoat selection, NCCA No. 11-19; Q800 TuffTech™ coating 1-2T THICKNESS Roofing Accessories: 0.016" - 0.024" TruLine® HP Fascia: 0.024" TruLine® TS Fascia: 0.019" TriuVent®, TriuHead®, TruLine HP Soffit: 0.019" TruLine TS Soffit: 0.016" Porch Ceiling: 0.024" Gutter Coil: 0.027"-0.032" Gutter Components: 0.019" - 0.024" Q800 TuffTech™ Trim Coil: 0.019" - 0.024" No-Mar Q5000® Trim Coil: 0.019"	MATERIAL DATA 100% Recyclable VOC-free Lead free COATING Q800 TuffTech™ coating is applied at 0.6-0.8 mils, a pencil hardness of F-2H (ASTM D 3363) and flexibility of 1-2T. Specular gloss 60° ASTM D 523 is ± 5% of specification. No-Mar Q5000® coating is applied at 0.6 - 0.8 mils, a pencil hardness of F-2H (ASTM D 3363) and flexibility of 1-2T. Specular gloss 60° ASTM D 523 is ± 5% of specification. ADHESION OF FILM Cross-Hatch Adhesion: NCCA no.11-16, no loss of adhesion between coating and substrate to point of metal rupture with 1/8" cross hatch scribe pattern through coating to bare metal. ADHESION IMPACT NCCA No. 11-6; 1.5x3 metal thickness inch-pounds, no loss of adhesion. ACCELERATE TESTS Humidity Resistance: No visual change after 100% relative humidity for 1,000 hours per ASTM D2247-87; no blisters or loss of adhesion. SALT SPRAY When subject to 5% salt solution at 95°F, shall withstand 1000 hrs. exposure with no field blistering, no more than 1/32" creep from the scribe, ASTM B117. QUV When subject to 5% salt solution at 95°F, shall withstand 1000 hrs. exposure with no field blistering, no more than 1/32" creep from the scribe, ASTM B117. WIND LOAD Applies to TriuVent only. Meets 2015 NBCC-CAN/ULC-93.2-M91 for residential use, Type 1, Class FL5, Cantilever and Wind Loading Requirements when tested in accordance with CAN2-93.1-M85	Technical Data
PRODUCT LINE Roofing Accessories Fascia Soffit Porch Ceiling Gutter Coil Gutter Components Q800 TuffTech™ Trim Coil No-Mar Q5000® Trim Coil TEXTURE Smooth: Roofing Accessories, Fascia, Soffit, Porch Ceiling, Gutter Coil & Components, Q800 TuffTech™ Trim Coil Pebble: No-Mar Q5000 Woodgrain: TruLine, TruLine HP & TS Fascia, Q800 TuffTech™ Trim Coil	COLOR AVAILABILITY Please see our Product Catalog and Specification Guide for complete color availability. www.QualityEdge.com/Resources TECHNICAL SUPPORT Complete technical information and literature is available at: www.QualityEdge.com/Support INSTALLATION SUPPORT Installation information is available at: www.QualityEdge.com/Resources WARRANTY For complete warranty information, registration and claims, visit: www.QualityEdge.com/Warranties MAINTENANCE Remove any and all debris that may accumulate on the product during its lifespan to keep it moisture free. Tighten any loose fasteners or trim pieces as access allows. Do not attempt to repair or replace any parts of the system without consulting a certified applicator. Repainting should not be necessary through the duration of the warranty.	Product Details
<i>Quality Edge reserves the right to alter specifications without general notice or obligation to make similar changes in products previously manufactured.</i>		
2712 Walkent Drive N.W. Walker, MI 49544 888.784.0878		

Keep looking up.

- Enhance roof overhangs and porches with a warm, wood-look appearance
- Aluminum Porch Ceiling performs better and lasts longer than other options.
- Thicker metal for longer lengths and less seams.

The Porch Ceiling Collection

The Porch Ceiling Collection features beautiful, painted woodgrain finishes that exhibit the classic look and feel of real stained wood with the durability and performance of an aluminum substrate.

Enhances exposed or vented soffit porch ceilings.

Made of high quality aluminum, Porch Ceiling is thicker than standard soffit and designed to extend longer lengths.

Beautiful, painted woodgrains that have the classic look and feel of stained wood.

The Porch Ceiling Collection

AVAILABLE OPTIONS
Solid - DSPC

MATERIAL AVAILABILITY
Aluminum

COATING
Q800 TuffTech™

THICKNESS
0.024"

WARRANTY
Lifetime Limited Warranty

INSTALLATION NOTES
For installation use 3/8" J-Channel PC38J which come in Porch Ceiling Woodgrain Colors

Go to QualityEdge.com/Resources for installation information.

COLOR AVAILABILITY

AVAILABLE COLORS: 946 Dark Mahogany [DM], 943 Karri [K], 948 Medium Teak [MT], 947 Light Cherry [LC], 949 Rock Maple [RM]

Although we make every effort to ensure color accuracy in our printing process, your final products may not be an exact match to those displayed.

SELECTED MASONRY

Product Information (BLACK PEARL BRICK):

Brand: Glen-Gery

Type: Thin Brick

Color: Black

Style: Extruded

Plant: Hanley

Series: Emporium+ Series

Texture/Finish: Wirecut



General Availability	T	H	L		Brick per sq ft
Modular Thin Brick	1/2	2-1/4	7-5/8	in.	6.86

Interlocking	X	Actual Length (Inches)	16
Block Weight	Normal weight	Minimum Weight (lbs.)	10
Warranty	1-year limited	Common Width (Inches)	8.0
Cored	X	Series Name	N/A
Color/Finish Family	Gray	UNSPSC	30131500
Common Length (Inches)	16.0	Actual Width (Inches)	8
Common Height (Inches)	2.0	Type	Cap
Actual Height (Inches)	2	CA Residents: Prop 65 Warning(s)	Prop 65 WARNING(S)

2" STONE CAP



Interlocking	X	Actual Length (Inches)	16
Block Weight	Normal weight	Minimum Weight (lbs.)	10
Warranty	1-year limited	Common Width (Inches)	8.0
Cored	X	Series Name	N/A
Color/Finish Family	Gray	UNSPSC	30131500
Common Length (Inches)	16.0	Actual Width (Inches)	8
Common Height (Inches)	2.0	Type	Cap
Actual Height (Inches)	2	CA Residents: Prop 65 Warning(s)	Prop 65 WARNING(S)

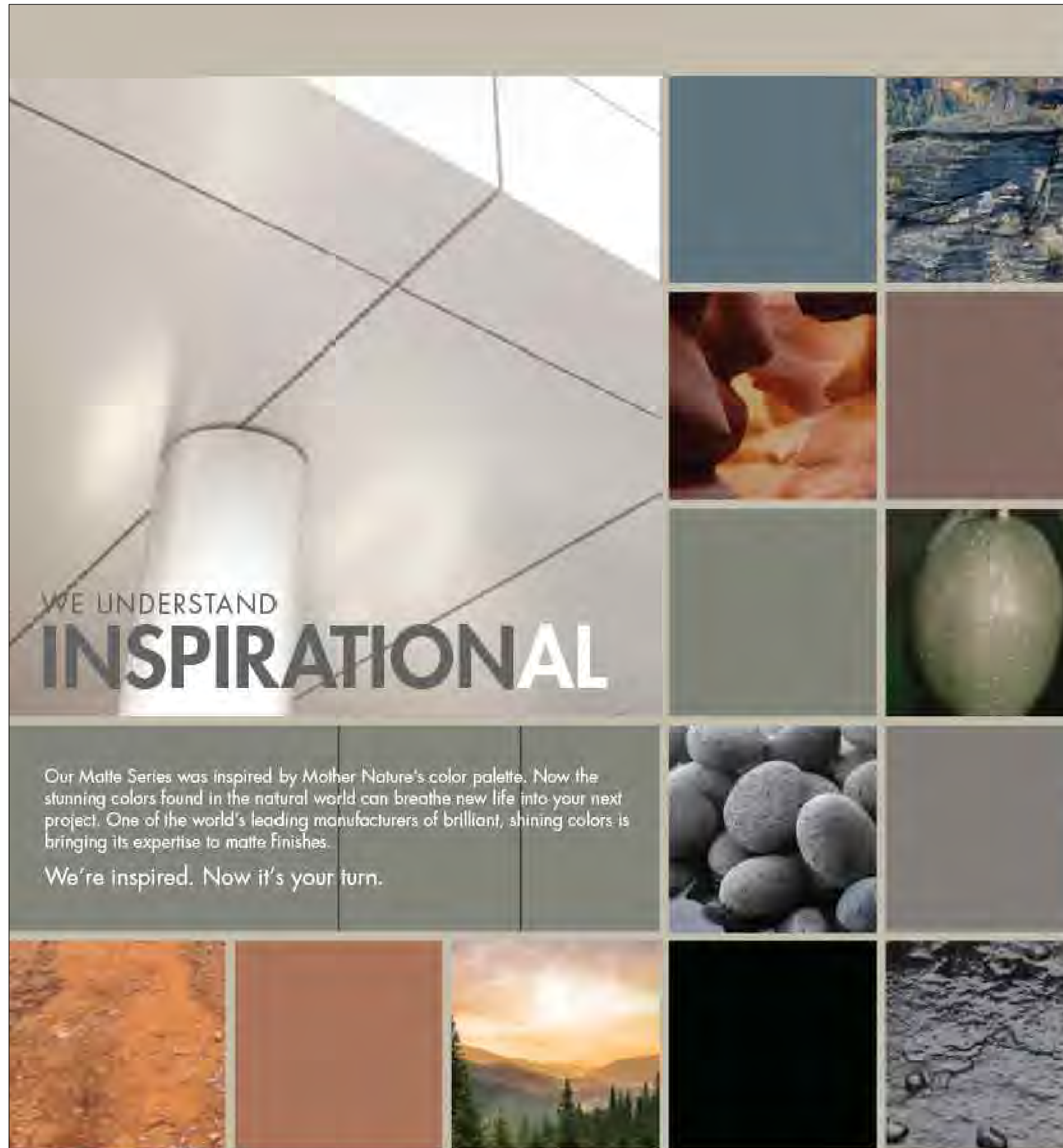
CONSUMERS CONCRETE CORP. ALPINE W SPLIT FACE CMU



EARTHWORKS COTTON BOTTOM HONED LIMESTONE PANEL

Color Tone	Cream	
Sample Available	Y	
Finish	Honed	
Available Finishes	Brushed, Bushhammered, Honed, Sandblasted, Sawn	
Percent Absorption	8.31%	
Bulk Specific Gravity	2.11	
Weight per Cubic Foot	131.59 LBS/CF	
Abrasion Resistance	3.75	

METAL COMPOSITE



WE UNDERSTAND
INSPIRATIONAL

Our Matte Series was inspired by Mother Nature's color palette. Now the stunning colors found in the natural world can breathe new life into your next project. One of the world's leading manufacturers of brilliant, shining colors is bringing its expertise to matte finishes.

We're inspired. Now it's your turn.

BUILD YOURS WITH ALPOLIC® COLORS AND FINISHES

ALPOLIC®
METAL COMPOSITE MATERIALS

Your Design | Perfected

ALPOLIC®/fr Matte Series and ALPOLIC®/PE Matte Series - 20 Year Finish Warranty

ALPOLIC®

Nature was our inspiration.
Now let the new Matte Series finishes be yours.
Find the perfect finish for your next concept.



River Rock Grey
Color Code: RRM
Gloss: Matte/6
LRV: 23/SRI: 17

Clay Red
Color Code: CLM
Gloss: Matte/6
LRV: 17/SRI: 16



Limestone Blue
Color Code: LBM
Gloss: Matte/6
LRV: 17/SRI: 12

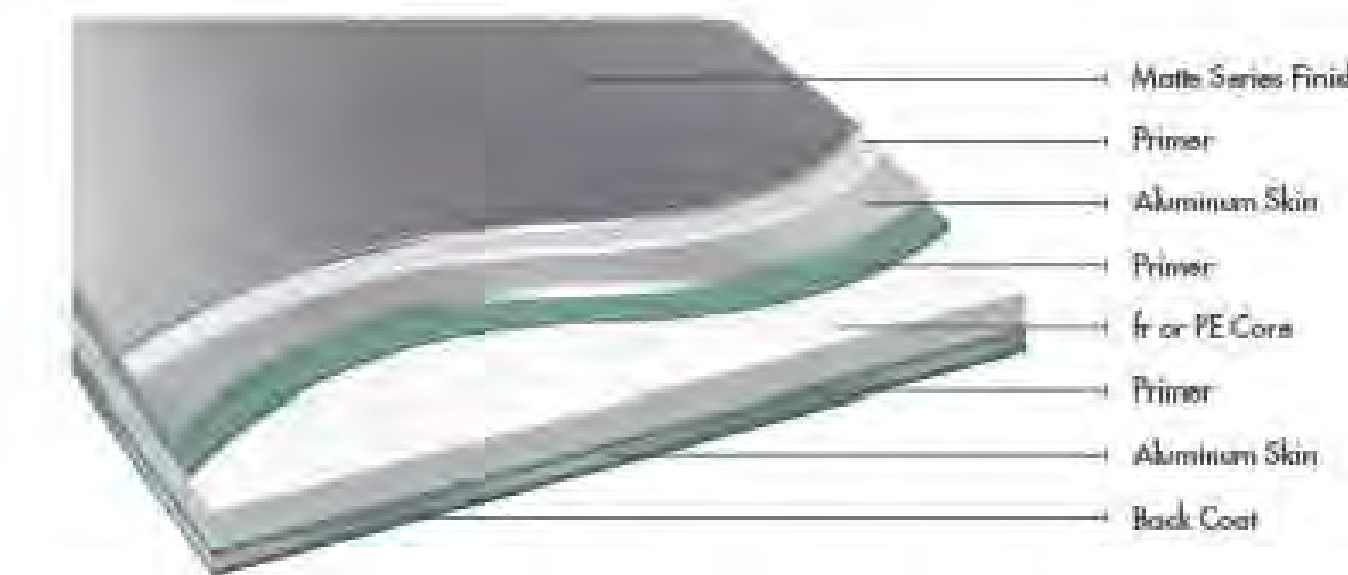
Olive Green
Color Code: OGM
Gloss: Matte/6
LRV: 20/SRI: 14



Terra Cotta
Color Code: TRM
Gloss: Matte/6
LRV: 16.9

Slate Black
Color Code: BSM
Gloss: Matte/6
LRV: 5/SRI: 1

Cloud White
Color Code: CWM
Gloss: Matte/6
LRV: 73/SRI: 8.1



ALPOLIC® materials are light, flat, rigid and strong. Let's build.

With continuous coil coating using our advanced die coating process, ALPOLIC® materials provide a consistent and smooth finish of high-performance fluoropolymer resins - the most advanced architectural coatings available. Our new Matte Series not only honors Mother Nature herself, but is made to withstand the test of time providing a more beautiful finish than traditional metal or other building panels. Choose from our ALPOLIC®/PE with our classic polyethylene core (PE) or our ALPOLIC®/fr panels featuring an advanced fire-retardant (fr) thermoplastic core that sets the industry standard for fire safety and meets many fire codes worldwide.

Nota:

- All colors herein are fluoropolymer coatings produced in our continuous coil coating line.
- Minimum quantity required for the colors herein is 1000 sq. ft. or 93 m² per order per standard width.
- Custom colors are also available. Please consult our offices or our distributors for the minimum quantities.
- Color chips may slightly differ from actual products due to printing. Confirm the color with the color samples.
- Color may slightly vary between production lots. To ensure the color consistency, we recommend placing total requirement in one order.

Nota:

- Todos os cores aqui indicados são revestimentos entoadenantes produzidos em nossa linha de revestimento de bobina contínua.
- A quantidade mínima exigida para os cores aqui indicados é de 1000 pés quadrados ou 93 m² por pedido e por largura padrão.
- Cores personalizadas também estão disponíveis. Por favor, consulte nossos escritórios ou distribuidores para as quantidades mínimas.
- Os "chips" de cores podem ser ligeiramente diferentes do produto atual, devido à impressão. Confirme o cor com as amostras de cores.
- Os cores podem variar ligeiramente entre os lotes. Para garantir a consistência de cor, recomendamos colocar o total do pedido que será necessário de uma só vez.

Nota:

- Todos los colores de esta tabla corresponden a pinturas de fluoropolímero aplicadas en nuestra cadena de pintura continua de chapa en rollo.
- La cantidad mínima de los colores de esta tabla es de 1000 sq. ft. or 93 m² por ln. por anchura estándar. Por favor, consulte nuestros oficinas o nuestros distribuidores para el ancho del panel disponible.
- También existen colores personalizados.
- Las tarjetas de color pueden diferir ligeramente de los productos reales debido al proceso de impresión. Confirme el color con la muestra de color.
- Los colores pueden variar ligeramente de un lote de producción a otro. Para garantizar una consistencia en el color recomendamos que el total del requerimiento de la cadena se realice en una misma producción.

Remarque:

- Tous les couleurs offertes sont des revêtements fluoropolymère à produits dans notre ligne de revêtement par couchage en continu.
- La quantité minimale requise par commande pour les couleurs offertes ici est de 1000 sq. ft. or 93 m² par largeur de panneau standard. Pour tout renseignement sur les largeurs de panneaux disponibles veuillez nous consulter ou contacter nos distributeurs.
- Des couleurs personnalisées sont également disponibles.
- Les pastilles de couleur peuvent varier légèrement des produits proprement dits du fait de l'impression. Il est de confirmer la couleur avec l'échantillon de couleur.
- La couleur peut varier légèrement en fonction des lots de production. Pour garantir l'homogénéité des teintes nous recommandons de passer une seule commande pour l'ensemble de vos besoins.

All colors herein are Fluoropol® PVDF, a premium fluoropolymer system containing 70% Polyvinylidene Fluoride (PVDF) proprietary resins providing outstanding resistance to ultraviolet rays, exceptional color retention and resistance to chalking and chemical degradation.

The LRV (Light Reflectance Value) noted represents a percentage of the light energy, in the visible spectrum, that is reflected by the

surface being measured. This value is defined in ASTM C609 as the Y value as measured in an XYZ/Yzy color space.

The SRI (Solar Reflectance Index) noted represents the material's solar reflectivity and emissivity. This value is measured using ASTM E1980 at a 12 W/m²K value.

Colors shown are as close to actual colors as allowed by the printing process.

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UFAP3005 Rev.3 March 2021

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SELECTIONS FROM PELLA

Unmatched strength and lasting durability

Achieve commercial-grade strength and lasting durability for your customers' long-term return on investment. Pella Impervia products are made from our proprietary fiberglass material, the strongest material for windows and patio doors, engineered for lasting durability.¹

Pella Impervia

Fiberglass windows and patio doors

Revolutionary hardware

Introducing a revolutionary way to operate casement and awning windows. This patent-pending, Easy-Slide Operator simply slides to open, without the effort of cranking.

Sleek profiles and more glass

Create bold designs from sleek profiles and more glass with our intentionally-designed products made from our exceptionally strong proprietary fiberglass.

100x more impact resistant²

Pella's fiberglass is 100x more impact-resistant than Andersen's Fibrex windows. You can trust our fiberglass products to be better equipped to stand up to a hammer misfire and other jobsite conditions.

Proven performance

Engineered for the rigorous performance requirements of a commercial building, Pella Impervia products provide outstanding resistance to water, wind and outside noise.³

Installation solutions and expertise

With nearly 100 years in business, we've got you covered with products and installation solutions for your exact situation.

Exceptional mulling capabilities

With both interior and exterior accessory grooves on all Pella fiberglass products, you can create larger, unique combinations specifically for your remodel or new construction project. Our extensive factory-mulled options will come preassembled, saving you time on the jobsite.

Up-to-date color palette

Achieve your design style with up-to-date frame color options including Black.

Tested beyond requirements

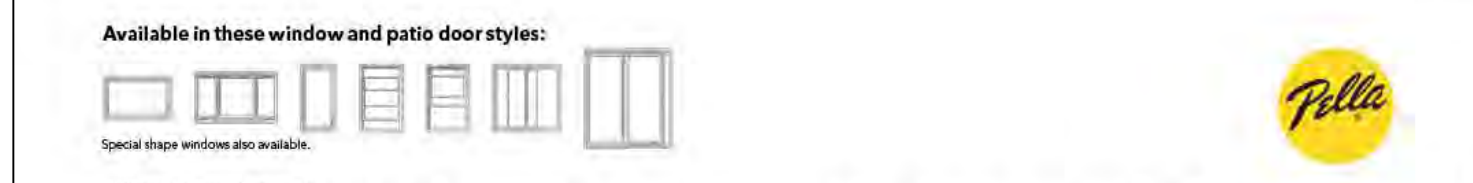
Tested beyond industry standards and to extremes from -40°F to 180°F, our proprietary fiberglass can handle the most extreme heat and sub-zero cold.⁴ Our products are tested beyond industry standards to help ensure less maintenance with fewer callbacks.

Durable three-way corner joints

For added strength, durability and reliable water performance, Pella Impervia products feature corner locks and sashes injected with sealant and fastened with screws.

The confidence of a strong warranty⁵

We know your reputation matters, so we have one of the strongest warranties in the business.



Delivering **unmatched strength, engineered for lasting durability.**¹

Pella's Proprietary Fiberglass vs. Andersen Fibrex 2,4,7
Pella Impervia products won't dent, bend or break as much as the competition.

Won't dent. 100x more impact-resistant

Won't bend. 10x stronger

Won't break. 20x the tensile strength

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Performance Class & Grade	Performance Values			Frame/Install
						U-Factor	SHGC	STC	
Vent Awning	20"	17-1/2"	59-1/2"	59-1/2"	LC30-LC50	0.18-0.48	0.16-0.55	29-37	
Fixed Awning	13-1/2"	11-1/2"	71-1/2"	79-1/2"	LC45-LC50	0.16-0.49	0.18-0.63	28-36	Block Frame, Standard Fin, Off-Set Fin, Integral Fin
Vent Casement	17-1/2"	20"	37-1/2"	79-1/2"	LC45-LC50	0.26-0.45	0.18-0.55	25-32	
Fixed Casement	13-1/2"	11-1/2"	71-1/2"	79-1/2"	LC45-LC50	0.22-0.48	0.20-0.62	27-33	
Vent Double-Hung	17-1/2"	29-1/2"	47-1/2"	77-1/2"	LC30-LC50	0.25-0.49	0.19-0.58	26-29	
Vent Single-Hung	17-1/2"	23-1/2"	47-1/2"	77-1/2"	LC40-LC50	0.24-0.51	0.19-0.59	26-32	
Sliding Window (OX, XO)	23-1/2"	11-1/2"	71-1/2"	71-1/2"	LC30-LC50	0.25-0.50	0.19-0.59	26-33	Block Frame, Standard Fin, Off-Set Fin, Integral Fin, Flush Frame
Sliding Window (XOX)	47-1/2"	17-1/2"	107-1/2"	71-1/2"	LC30-LC50	0.25-0.50	0.19-0.59	26-32	
Fixed Sash and Frame	13-1/2"	13-1/2"	71-1/2"	71-1/2"	CW55-CW59	0.22-0.50	0.20-0.62	27-33	
Fixed Frame Direct Set	11-1/2"	11-1/2"	143-1/2"	143-1/2"	CW50	0.14-0.46	0.18-0.69	28-36	Block Frame, Standard Fin, Off-Set Fin
Sliding Patio Door (One Panel)	27"	71-1/2"	50-5/8"	119-1/2"	LC30-LC50	0.17-0.48	0.19-0.59	29-33	
Sliding Patio Door (Two Panel)	59-1/4"	71-1/2"	95-1/4"	119-1/2"	LC30-LC50	0.17-0.48	0.19-0.59	29-33	Block Frame, Standard Fin, Off-Set Fin
Sliding Patio Door (Three Panel)	91-7/8"	71-1/2"	145-7/8"	119-1/2"	LC30-LC50	0.17-0.48	0.19-0.59	29-33	

Window sizes available in 1/8" increments. Maximum square footage table apply. Maximum width and height cannot exceed the maximum square footage. Special design available. Two and three panel sliding patio door configurations that are greater than or equal to 95.5" in height will come knock-down and require field assembly. Knock-down will be optional for two and three panel configurations and 95.5" in height.

Glass & Additional Energy Efficiency Upgrades

InvisiShield® Low-E Glass⁸

Pella Impervia products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.¹⁹

Advanced Low-E insulating dual-pane glass with argon

Advanced Comfort Low-E insulating dual-pane glass with argon

Natural Sun Low-E insulating dual-pane glass with argon

SunDefense™ Low-E insulating dual-pane glass with argon

Additional Glass Options

Tempered glass

Laminated (non-impact-resistant) or obscure glass also available on select products

STC (Sound Transmission Class) improved dual-pane sound control glass²⁰

Triple Pane²¹

Foam Insulation Options

Optional foam-insulated frame and sash are available to increase energy efficiency.

Color & Finishes

Our long-lasting powder-coat finish resists chipping and fading and meets AAMA 624, which is a highly-rated fiberglass finish that will never need to be repainted or refinished.

Frame Colors

Solid Colors: White, Brown, Black

Window Hardware

Casement & Awning

The patent-pending Easy-Slide Operator is a revolutionary way to operate casement and awning windows. Simply slide to open, without the effort of cranking. With precision venting technology, the window will open to an exact location. Or select the fold-away crank, that folds neatly away, against the window frame. Neither solution will interfere with roadside window treatments.

Easy-Slide Operator **Fold-Away Crank**

Color-Matched Finishes: White, Brown, Matte Black

Additional Finish²²: Satin Nickel

Sliding, Single & Double-Hung

Pella's cam-action lock pulls the sashes against the weatherstripping on single-hung, double-hung and sliding windows for a tighter seal.

Cam-Action Lock

Color-Matched Finishes: White, Brown, Matte Black

Additional Finish: Satin Nickel, Bright Bronze, Oil-Rubbed Bronze

Patio Door Hardware

Sliding Patio Door

Elevate a home's style with sleek hardware selections.

Sliding Patio Door Handle

Color-Matched Finishes: White, Brown, Matte Black

Additional Finish: Satin Nickel

Secure Vent Lock

A secure vent lock comes standard on all Pella Impervia sliding doors and provides security in both the closed and venting positions. Secure vent lock is color-matched to the interior of the frame.

Secure Vent Lock

Color-Matched Finishes: White, Brown, Matte Black

Patio Door Blinds

Blinds-Between-the-Glass²³

Give your homeowners more privacy by adding blinds-between-the-glass. Located between panes of glass, blinds are protected from dust, dirt and damage.

White **Stone Gray** **Espresso**

Grilles

Grilles are color-matched to window or patio door interior and exterior frame color.

Aluminum Grilles-Between-the-Glass²⁴ **Applied Grilles²⁵**

1. Pella's proprietary fiberglass material has a display of superior strength over wood, vinyl, aluminum, wood-aluminum composites, and other fiberglass materials used for building exterior panels in window and door products. Performance is based on testing to failure in accordance with ASTM D3282 and D3283 testing standards. 2. Impact testing performance based on testing to failure of each material using ASTM D2554, Method C. 3. Pella Impervia® windows and patio doors have a performance class of LC or higher. For information on product performance see www.pella.com/performance. 4. Testing performed in accordance with ASTM testing standards. Pella's fiberglass has displayed superior performance strength, ability to withstand extreme heat and cold and resistance to dents and scratches. Special shape windows are made from a fiberglass resin material. 5. See website listed separately for details, including restrictions and limitations. at: www.pella.com/Accessories. 6. Available on select products. 7. Available on select products. 8. See website listed separately for details, including restrictions and limitations. at: www.pella.com/Accessories. 9. Available on select products. 10. Available on select products. 11. Available on select products. 12. Available on select products. 13. Available on select products. 14. Available on select products. 15. Available on select products. 16. Available on select products. 17. Available on select products. 18. Available on select products. 19. Available on select products. 20. Available on select products. 21. Available on select products. 22. Available on select products. 23. Available on select products. 24. Available on select products. 25. Available on select products.

Pella® Entry Door Systems

Premium Wood Detailed Product Descriptions

Frame

- Select hardwoods.
 - Mahogany (Demense cherry) [American white oak] doors are hung in matching frames.
 - Rustic walnut square top and eyebrow top are hung in mahogany frames.
 - Rustic walnut continuous radius doors are hung in matching frames.
- Mahogany (Demense cherry) [American white oak] frame are engineered wood. Interior exposed surfaces are veneered with clear match face material.
- Wood exterior (brinkmould) [5-45 flatscreen] [LC11 deco casing] trim is available.
 - Interior casing is available in to match the frame material.
- Sill is extruded exterior aluminum [standard in-swing with adjustable oak threshold] [stand out-swing bumper sill] [1/2" low profile] with [bronze anodized] [brass anodized] [mill finish].
- Wall depth [4-9/16"] [5-1/4"] [6-9/16"] [Custom: _____ (specify up to 12")].

Door Panel

- Select hardwood [mahogany] [Demense cherry] [American white oak] [walnut].
- Edge banding of square top panels is mahogany [Demense cherry] [American white oak] [walnut].
- Panel thickness is [1-3/4" (45 mm)] [2-1/4" (57 mm)].

Weatherstripping

- Compression type foam filled weather strip at head and jambs.
- [In-swing] [In-swing with low profile sill] [Out-swing with low profile sill] Dual durometer extruded polymer with leaves at bottom edge of door panel will contact threshold and includes drip [Out-swing: Calulad polymer sub is attached to the bumper sill].

Glazing System

- Quality float glass complying with ASTM C 1036.
- 5/8" (16 mm) tempered insulating glass [Decorative: _____ (specify glass type)] [Textured glass [Antique] [Flemish] [Reeded]] [true divided light with 1-1/4" (32 mm) edge bevel in each light].
- All glazing meets ANSI Z97.1 and U.S.C.P.S.C. Standard 16 CRF 1201.

Finish

- Exterior and interior (unfinished – ready for site finishing) [factory applied stain finish].

Hardware and Hardware Prep

- Ball bearing hinges [Black] [Oil-Rubbed Bronze] [Polished Brass] [Satin Chrome] for operable doors.
 - Square top and eyebrow top doors: Three (3) per door panel @ 6" (152 mm) panel height; four (4) per door panel on 8" (203 mm) panel heights.
 - Round top doors: Three (3) per door panel on all panel heights.
- Flush bolt for double doors will match hinge finish.
- Each door panel is [In-bore] [factory-prepped for 2-1/8" (54 mm) latch bore] [factory-prepped for 2-1/8" (54 mm) latch bore and 2-1/8" (54 mm) deadbolt, 5-1/2" (140 mm) on center] [factory-prepped for 1-1/16" (27 mm) or 2-1/8" (54 mm) multipoint latch bore @ (153 mm) on center].
- Backset is [2-3/8" (60 mm)] [2-3/4" (70 mm)]. Backset for multipoint prep is 2-3/8" only.
- Optional multi-point lock hardware is stainless steel.
- Optional multi-point lock handle set hardware, with Schlage® keyway.
 - 8" (203 mm) doors feature an extended top flush lock, partially concealed behind the astragal which lowers the operator to approximately 12" from the top of the door panel.

Optional Products

Decorative Accents

- Color: Iron Grilles.
 - Iron with black powder-coat finish.
 - Available on select rustic walnut doors.
- Dentil shelf (available on select Craftsman panels only).
 - Shelf is factory applied to exterior.
- Claves (available on select rustic walnut and mahogany panels only).
 - Metal [1-1/4" (32 mm) round] [1-1/8" (29 mm) square] with Black finish.
 - Factory applied to exterior.
- Decorative [14" (356 mm)] [20" (508 mm)] strap with black finish (available on select rustic walnut and mahogany panels only). Applied to exterior.
- Surface Bolt [8" (153 mm)] [12" (305 mm)] [16" (406 mm)] available in [French Antique] [Oil-Rubbed Bronze] [Satin Nickel]. Field Applied to the Interior.
- Cross locks (available on select rustic walnut and mahogany panels only).
 - Operable speakeasy door without glass.
 - Opening is weatherstripped.
 - [Square top] [Full Radius] [Eyebrow Radius, mahogany panels only].
 - Buttery hinged with latch hardware in Black finish.
- Operable speakeasy door with single pane glass.
 - [Antique] [clear] glass.
 - [Square top] [Full Radius] [Eyebrow Radius, mahogany panels only].
 - Buttery hinged with latch hardware in Black finish.
 - Speakeasy accents with IG – no door.
 - 5/8" [Antique] [clear] [clear beveled] [S. Charles] insulated glass.
 - Speakeasy grille – factory applied to exterior – Black finish.

(1) Contact your local Pella retailer for current decorative glass options.
(2) Contact your local Pella retailer for current handle style and finish options.
(3) Contact your local Pella retailer for current offerings.



Pella® Impervia® Sliding Patio Door

Detailed Product Description

Frame

- Frame is Duracast® fiberglass composite — five-layer pultruded fiberglass material (with optional foam insulation,) reinforced with a Pella patented interlocking mat.
- Overall frame depth is 5".
- Nominal wall thickness of Duracast members are: 070" to .120" thick.
- Duracast sill powder-coat painted black.
- Frame corners are mitered, joined and bonded with glass filled polypropylene corner lock and mechanically fastened. Jamb to head corners sealed with injected polyurethane or hot melt silicone adhesive.
- Jambs and head contain factory-drilled (counter-bored) installation screw holes when ordered without nail fin.

Door Panel

- Panel is Duracast® fiberglass composite — five-layer pultruded fiberglass material (with optional foam insulation,) reinforced with a Pella patented interlocking mat.
- All panel members have mitered corners joined and bonded with corner locks, injected with polyurethane or hot melt silicone adhesive.
- Vent panels have two adjustable permanently sealed electroplated steel with organic coating ball-bearing rollers, set on stainless steel track.

Exterior/Interior

- Duracast surfaces are factory applied with powder-coat paint finish.
 - Color is [White] [Brown] [Black].
 - Dual-color option [Brown] [Black] exterior with White interior.

Blinds-Between-the-Glass²⁶

Glazing System

- Quality float glass complying with ASTM C 1036.
- 1" insulating glass tempered [Obscure-3] [Clear] [Advanced] [SunDefense™] [AdvancedComfort] [NaturalSun] Low-E coated, with argon] sealed and bonded to panel.
- High altitude glazing is available.

Weatherstripping

- Flexible polymeric bulb section with welded corners and a slip-coating at head, jamb, sill and interlocker.
- Bristle strip rain-screen at vent panel interlocker.

Hardware

- Interior handle, thumb lock for inside locking is [powder-coat [White] [Brown] [Matte Black] to match finish] [Satin Nickel].
- Exterior handle is powder-coat painted to match exterior.
- Multiple point lock hardware is electroplated steel with stainless steel strikes.
- Non Self-locking secure vent lock. Color matched to interior. Vent lock holds the door open approximately 4" for ventilation, available in two height locations.

Optional Products

Screens

- InView™ screen.
 - Vinyl-coated 18/18 mesh fiberglass screen cloth complying with SMA 1201, set in aluminum frame fitted to exterior of door, supplied complete with all necessary hardware.
 - Supplied complete with all necessary hardware.
 - Screen finish is baked enamel, color to match sliding door exterior.

Grilles

- Grilles-Between-the-Glass.
 - Insulating glass contains 3/4" contoured aluminum grilles permanently installed between two panes of glass.
 - Grilles are factory prefinished [White] [Brown] [Black] to match interior and exterior finish.
- Keylock with [K-keyway cylinder] [dummy cylinder]. Finish is [Matte Black] [Chrome].

(1) Foam insulation inserts are not available with clear glazing.
(2) Obscure glazing is not available when AdvancedComfort Low-E coated IG is specified.



LIGHTING SPEC SHEET

Armor Outdoor Wall Sconce By Novus Decor

NOVUS

Details:

Product ID: AR2000
 Finish: Matte Black
 Material: Aluminum
 Warranty: 5 Year
 Ratings: UL, CCC, CE, IP65(Water Resistance)
 Dimmable: Product Selection(Changeable with Remote)
 Product Origin: China

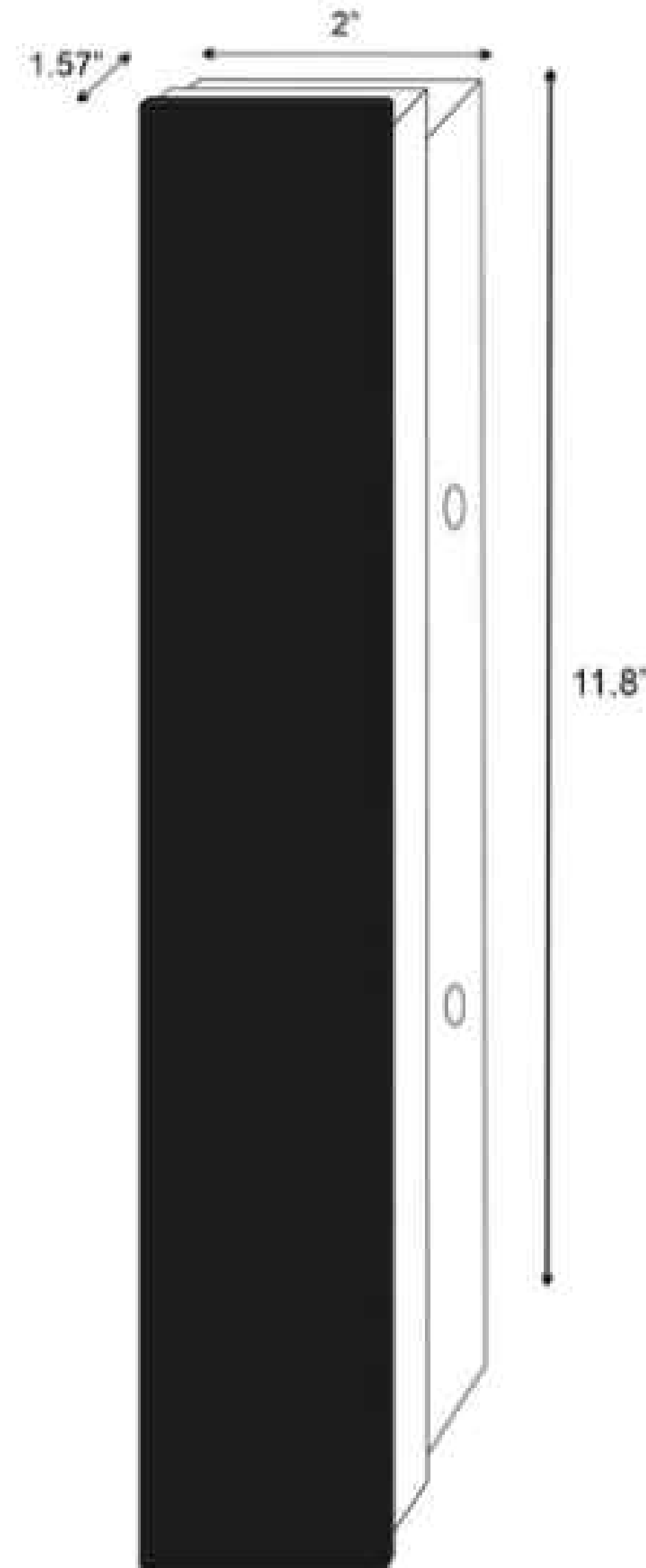
Dimensions:

- 11.8 Inch Option: Width 2", Height 11.8", Depth 1.57"
- 23.6 Inch Option: Width 2", Height 23.6", Depth 1.57"
- 31.5 Inch Option: Width 2", Height 31.5", Depth 1.57"
- 39.4 Inch Option: Width 2", Height 39.4", Depth 1.57"
- 47.2 Inch Option: Width 2", Height 47.2", Depth 1.57"
- 59.0 Inch Option: Width 2", Height 59.0", Depth 1.57"
- 67.0 Inch Option: Width 2", Height 67.0", Depth 1.57"
- 78.7 Inch Option: Width 2", Height 78.7", Depth 1.57"
- 94.5 Inch Option: Width 2", Height 94.5", Depth 1.57"

Lighting:

- 11.8 Inch Option: 9 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 23.6 Inch Option: 19 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 31.5 Inch Option: 24 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 39.4 Inch Option: 30 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 47.2 Inch Option: 38 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 59.0 Inch Option: 45 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 67.0 Inch Option: 55 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 78.7 Inch Option: 60 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K
- 94.5 Inch Option: 90 Watt 120 Volt Integrated LED;
Color Temp: Warm White 3000K/Cool White 6000K

Product Link: <https://www.novus-decor.com/collections/wall-lights/products/armor-black-outdoor-wall-sconce>



Product Above

11.8 Inch Option: Width 2", Height 11.8", Depth 1.57"

NOTES:

PROGRESS LIGHTING

P8061 SERIES SIN LED New Construction And Remodel - Wet location listed **PROGRESS LED**

Description:
The 5" P8061 is ideal for use in both new construction as well as remodel/retrofit. Light output is comparable to that of a typical 60W incandescent downlight, providing up to 75 percent energy savings. The P8061 is equipped with both Edison base adapter and quick link connector allowing easy installation in many standard incandescent recessed housings. White finish.

Specifications:

- Satin White finish.
- Diffused polycarbonate lens controls direct glare from the LEDs.
- Easy "Push and Twist" installation with (3) friction spring clips.
- Can be installed in most competitors 5" recessed housings.
- Dimmable to 10% with many Triac/Forward Phase dimmers.
- 713 lumens (delivered).
- Suitable for use in C or NON-C Applications.
- Provided with quick link for use with E26 Edison Base adapter.
- Meets California Title 24 (AB-2016).
- This product is not available for sale into the State of California.
- 1" of wire supplied.
- ENERGY STAR qualified.
- Meets California Title 24 (AB-2016).

Performance:

Input Power	10w
Input Voltage	120V
Input Frequency	60 Hz
Lumens/LPW	713/71 (LM-79)
CCT	3000 K
CRI	90 CRI
Life (hours)	50,000 (L70/PM-21)
EM/RFI	FCC Title 47, Part 15, Class B
Min. Start Temp	-30 °C
Max. Operating Temp	30 °C
Warranty	5 year warranty
Labels	c-ULus Wet location listed ENERGY STAR qualified Meets California Title 24 (AB-2016)

Images: **P8061-28-30K**

Dimensions:
 (A) Outside Diameter: 6.2"
 (B) Height: 4"
 (C) Inside Diameter: 4.5"
 (D) Light Emitting Surface (LES): 2.75"

PROGRESS LIGHTING

P8061 SERIES SIN LED New Construction And Remodel - Wet location listed **PROGRESS LED**

Photometrics: **P8061-28-30K**

ELECTRICAL DATA P8061-28-30K

Type Voltage	120 V
Input Frequency	60 Hz
Input Current	0.08 A
Power Factor	>0.90
THD	<20%
EM Filtering	FCC Title 47, Part 15, Class B
Operating Temperature	30 °C to 30 °C
Dimming	Yes*
Overvoltage protection	Manufacturer protected
*See Dimming Notes for more information	

P8061-28-30K
 LED Light Engine: 3000 K, 90 CRI CRI
 System Range: 10
 Fixture Delivered Lumens: 713
 Fixture Efficacy: 71
 Spacing Criteria: 1.0

ZONAL LUMEN SUMMARY

Beam Angle	Beam Diameter (ft)	Beam Area (sq ft)	Beam Lumens (lm)	Beam Efficacy (lm/ft²)
0-10	38.76	38.76	5.99	
10-20	103.4	142.2	22	
20-30	140.6	282.7	43.7	
30-40	140.2	411.9	64.8	
40-50	125.5	557.5	84.2	
50-60	68.88	626.3	94.8	
60-70	18.39	644.7	99.7	
70-80	1.618	646.3	99.9	
80-90	0.3387	646.7	100	

PROGRESS LIGHTING

P8061 SERIES SIN LED New Construction And Remodel - Wet location listed **PROGRESS LED**

Dimming Notes:
 P8061 is designed to be compatible with many Triac/Forward Phase controls. The following is a partial list of known compatible dimmer controls.

Dimming Controls

Lutron RFCL 1530
 Lutron TCCL 1530
 Leviton 6672
 Leviton 6674
 Leviton 6681

Dimming capabilities will vary depending on the dimmer control, load, and circuit installation. Always refer to dimmer manufacturer instructions or a controls specialist for specific requirements. Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

GARAGE DOOR / HAND RAIL SPEC

GARAGE DOOR OVERVIEW

Clopay Canyon Ridge® Modern garage doors provide a wide range of door designs that perfectly complement contemporary homes. These doors are constructed with steel for strength and durability, and molded composite materials for beauty and realism. These doors feature:

4-layer construction including durable, composite, steel, and Intellicore® insulation.

2" Intellicore® polyurethane insulation with a thermal break.

R-Value ranging from 6.3 to 20.4.

WINDCODE® door reinforcement product available for high wind load applications. ([Click for details.](#))

ENVIRONMENTAL ASSURANCE

Clopay doors are compliant with environmental laws and regulations. Clopay doors do not contain HFCs. All Clopay doors are compliant with:

California SB 1013

Washington HB 1112 – Hydrofluorocarbon Greenhouse Gas Emissions

Canadian regulations amending the ozone-depleting substances and halocarbon alternatives regulations

New Jersey A-5583/S-3919 – Greenhouse Gas Bill



Optimum Handrails

Custom metal stair handrail railing manufacturing LA, California

Description

Sleek modern railing, with a rectangle top rail and rectangle tube rails. Elegant metal banister made to complete your home. Why go through the hassle of hiring a custom wrought iron contractor to make a custom railing for the price of an arm and leg when you can order one right here and save yourself the time, money and energy. For interior and exterior use.

Product details:

-42" height guardrail

-2" x 1" top rail and bottom rail

-1/2" height x 1" width tube steel rails with 4" spacing in between

-2- 3/16" thick x 2" wide side bars for wall attachment

-3-5/16" holes for bolts on each side of railing

-Matte black rust resistant paint finish

-Wood bolts included

Height- 42"= 3' foot- 6" inches

CODE COMPLIANCE- IBC Home and commercial building code requires guardrails when there is a height difference of 30" inches between the ground and top level.



ROOF EQUIPMENT

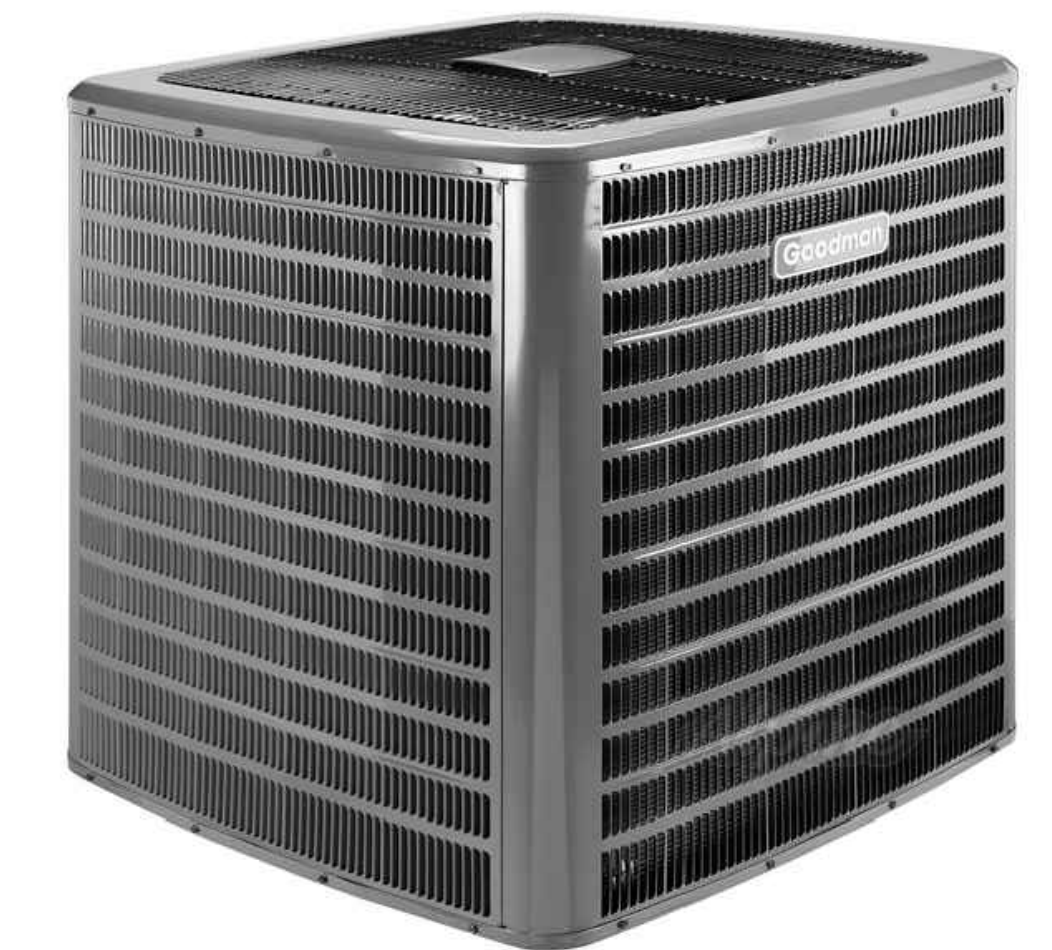
4' X 4' SKYLIGHT

SPECIFICATIONS			
DIMENSIONS			
Inside Curb (in.)	46.5 X 46.5	Outside Curb (in.)	49.5 X 49.5
Daylight area (sq. ft.)	15.02	Product Width (in.)	51.375
Product Depth (in.)	3	Rough Opening Height	46.5
Product Height (in.)	51.375	Rough Opening Width	46.5
DETAILS			
Cladding Type	Aluminum	Maximum roof pitch (degrees)	60
Color Family	Gray	Minimum roof pitch (degrees)	0
Color Family	Grays	Product Weight (lb.)	92.4 lb
Flashing Included	No	Returnable	90-Day
Frame Material	Aluminum	Severe weather ready	Yes
Glazing type	Laminated glass	Skylight Mounting Type	Curb Mount
Hardware Included	Yes	Skylight material	Glass
Low-E (Y/N)	Yes	U-Factor	0.48
Material	Glass	UV protection (%)	99.9



GOODMAN 5 TON AIR CONDENSER

SPECS	
Legal Region	All
Total Cooling Capacity	5 Ton(s)
Cooling BTUs	57000 BTU
Cooling Tonnage	5 Tonn
Maximum Heating Output BTU	57000 BTU
SEER	18 SEER
Heating Seasonal Performance Factor	9.3 HSPF
Refrigerant	R-410A
Maximum Overcurrent Protection (Breaker)	60 Amps
Compressor Type	Scroll
Stages	Two Stage
Low Pressure Safety Switch	Yes
Liquid Line Size	3/8 Inches
Suction Line Size	1 1/8 Inches
TXV Required	Yes
Noise Level	75 Decibels
Pail Size	36x36 Inches
Product Weight	319 lbs
Shipping Weight	339 lbs
Width	35.5 inches
Depth	35.5 inches
Height	38.25 inches
Voltage	208 - 230 Volts
Frequency	60 Hz
Voltage Phase	1
Compressor Warranty	Lifetime With Online Registration
Parts Warranty	With Online Registration 10 Years



30" X 30" ROOF ACCESS HATCH

TECHNICAL SPECIFICATION

DRL FLAT ROOF ACCESS DOOR

APPLICATION

PVC roof access door with the base designed for flat roofs.

Parameter	Value/Type	Marking
Roof angle	0° - 5°	
Roofing base type	membrane, roofing felt paper, green roofs, gravel roofs	

ROOF ACCESS DOOR ELEMENTS

L.p.	Element	Quantity	Description
1.	Sash with insulated sandwich panel filled with the XPS, the sash coated with aluminum sheet metal inRAL 7022, secured with a modified polyester, locking handle, gas springs to facilitate opening	1	Multi-chamber PVC profile
2.	Assembly set	1	
3.	Profiles fastening the roofing	4	Profiles mechanically mounting roofing to the frame

IV. TECHNICAL PARAMETERS

Parameter	Unit	Value	Harmonized standard
U _{trans} (BTU/HPF)	0,12		
U _{trans} (BTU/HPF)	mpd*		
ψ (W/mK)	mpd		
R _L [(dB)	30 (0; -2)		
Wind load resistance	Class C6/B5		
Snow load resistance	mpd		
Resistance to fire	mpd		
Resistance to external fire	mpd		
Water-tightness (Unshelved (A)	E900		
Impact resistance	Class 5 - 950 mm		
Load bearing capacity of safety device	Threshold value		
Air permeability	Class 4		

V. DECLARATION OF PERFORMANCE

Harmonized standard for the product	Marking	Declaration of Performance No.
EN 14351-1:2006 +A1:2016	CE	R68/CPR/14351/XX**

www.stairwayshop.com | sales@stairwayshop.com | 888-243-3339

VI. ASSEMBLY INFORMATION

Roof access door commercial size is an opening size in the roof (size A, B). Tolerance of the opening dimensions within ± 1/4 inch per side is possible.

III. SIZES

There are available 3 standard sizes

Roof access door size	Frame external size S x L	Distance between lining grooves p x q	Height h
30x30	39 1/8 x 39 1/8	28 3/4 x 28 3/4	8
30x36	39 1/8 x 44 1/8	28 3/4 x 33 7/8	8
36x36	44 1/8 x 44 1/8	33 7/8 x 33 7/8	8
27 1/2 x 51 1/8 (70x130)	35 3/8 x 68 7/8	25 1/8 x 58 5/8	8

VII. DETAILED DIMENSIONS

STAIRWAY SHOP
www.stairwayshop.com | sales@stairwayshop.com | 888-243-3339

ROOFTOP MECHANICAL SCREENING

ROOF SCREEN PANELS

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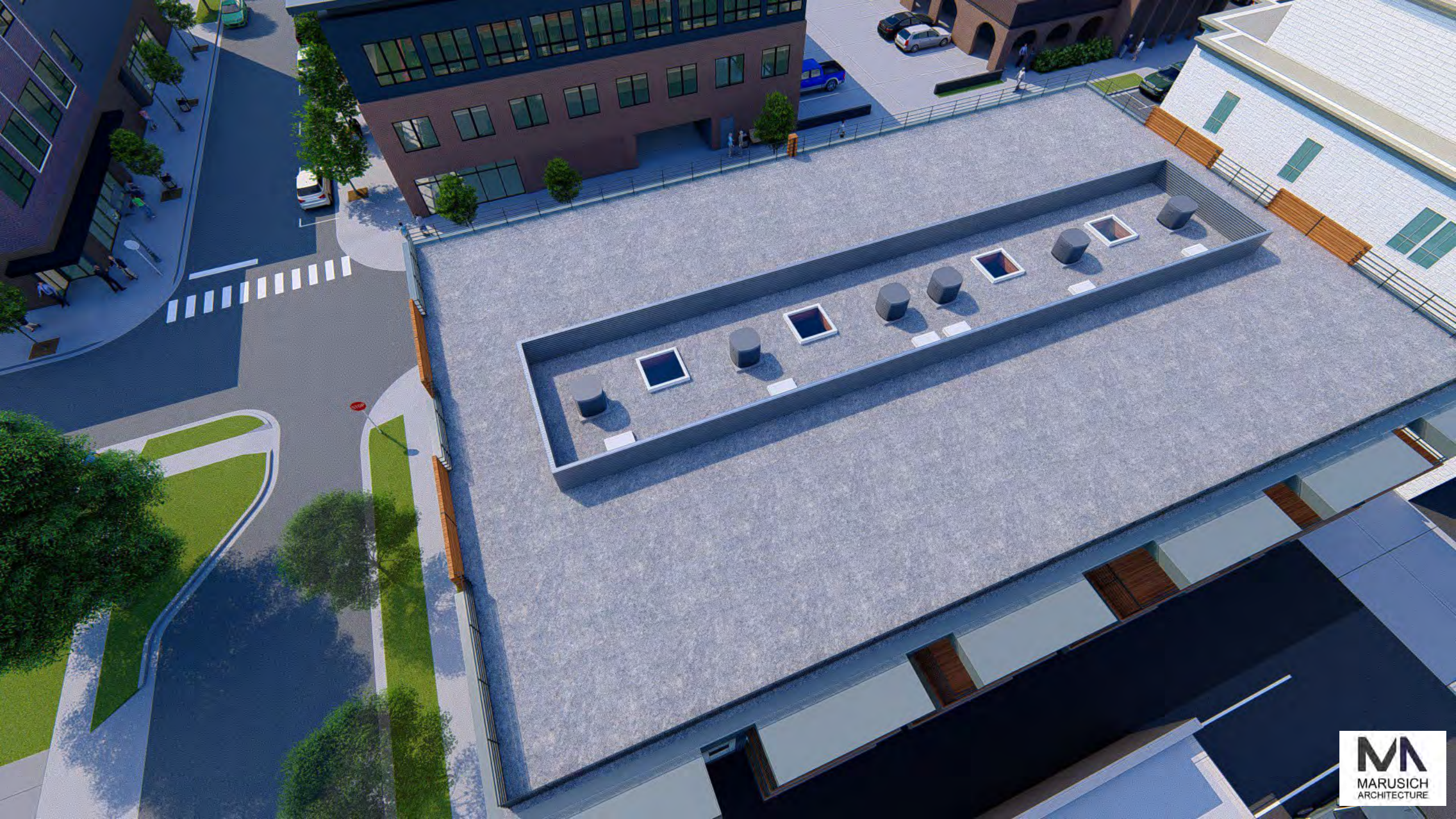


















MEMORANDUM

Planning Department

DATE: June 11, 2025

TO: Planning Board Members

FROM: Nick Dupuis, Planning Director

SUBJECT: 283 Hamilton Row – Marrow – Final Site Plan & Design Review

The subject site is located on the north side of Hamilton Row between Ferndale and Park. The applicant is applying for the addition of an outdoor dining platform in the Hamilton Row right-of-way with 4 tables and 16 chars total. As of today, there are 3 other outdoor dining platforms approved and in use within the Hamilton Row right-of-way: Greek Islands (west), Birmingham Sushi (east) and Commonwealth (south). There are no other changes proposed to the building or site.

1.0 Land Use and Zoning

- 1.1 Existing Land Use – Single story commercial building.
- 1.2 Zoning – B4 (Business-Residential) & D4 (Downtown Overlay)
- 1.3 Summary of Adjacent Land Use and Zoning –

	North	South	East	West
Existing Land Use	Parking	Commercial	Commercial	Commercial
Existing Zoning District	PP (Public Property)	B4 (Business Residential)	B4 (Business Residential)	B4 (Business Residential)
Overlay Zoning District	P (Parking)	D4	D4	D4

2.0 Setback and Height Requirements

No changes are proposed to the footprint of the building.

3.0 Screening and Landscaping

- 3.1 Dumpster Screening – There are no changes proposed to the dumpster or screening on site.
- 3.2 Parking Lot Screening – There are no off-street parking facilities on site.
- 3.3 Mechanical Equipment Screening – There are no changes proposed to the mechanical equipment or screening on site.
- 3.4 Landscaping – There are no changes proposed to the landscaping on site.
- 3.5 Streetscape – There are no changes proposed to the existing streetscape on site.

4.0 Parking, Loading and Circulation

- 4.1 Parking – There are no changes to the parking requirements on site.
- 4.2 Loading – There are no changes proposed to the loading requirements.
- 4.3 Vehicular Circulation and Access – There are no changes proposed to vehicular circulation and access to the site.
- 4.4 Pedestrian Circulation and Access – There are no changes proposed to pedestrian circulation and access to the site.

5.0 Lighting

There are no new light fixtures or changes in lighting proposed that will significantly alter the light intensity on the site at this time.

6.0 Design Review

The proposed outdoor dining platform is subject to several design requirements found in [Article 4, Section 4.44](#) of the Zoning Ordinance. In addition, the platform will be subject to the requirements of [Chapter 98, Article II, Sec. 98-38](#) of the City Code.

Marrow is proposing to have 16 seats at 4 tables, all of which are placed on an outdoor dining platform. The outdoor dining platform will occupy one on-street parking space, which will remove it from use by the parking system. At this time, the outdoor dining facility is within the limits of the Marrow storefront.

The applicant has submitted details on the materials proposed on the deck, and has provided a side profile that confirms that the deck is proposed to be constructed flush with the curb as required by the ordinance. The materials proposed for the deck surface is a brown Trex decking material, and the patio will be enclosed by a 42 in. black aluminum railing with posts that extend to 48 in. The applicant has shown that the outdoor dining facility will contain two large cantilever style umbrellas at each end of the platform, a seasonal heater and two trash receptacles. For the umbrellas, Article 4,

Section 4.44 (C)(5)(ii) states that overhead weather protection on outdoor dining platforms must measure a minimum of 8 ft. from the finished floor of an outdoor dining platform, and shall not exceed 10 ft. in overall height. The plans show umbrellas with the height of the umbrella measuring 9.5 ft., but does not show the dimension from grade. **The applicant will need to provide revised plans with all of the required dimensions for overhead weather protection on the outdoor dining platform.**

The site plan submitted contains a dimension demonstrating 7 ft. of continuous clear path for pedestrian passage between the building frontage *with the storefront door open* and the outdoor dining furniture. The minimum clear path between obstructions is 5 ft., thus the applicant meets this requirement.

As is required for all outdoor dining facilities, the applicant will be required to obtain an Outdoor Dining Permit annually. As the proposed platform is located in the public right-of-way, the applicant will be required to enter into a license agreement with the City as well. As a part of the annual outdoor dining permit process, the applicant is expected to pay fees to cover the loss in revenue of two on-street parking spaces as well as a general lease amount for the total square footage of public property that is being utilized.

7.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Floor Plans	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

8.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

1. *The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.*
 - The proposed outdoor dining platform will not affect the open space requirements of the site, as it is located within the public right-of-way.

2. *The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.*
 - There are no buildings proposed as a part of the Final Site Plan & Design Review application submitted.
3. *The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.*
 - There are no buildings proposed as a part of the Final Site Plan & Design Review application submitted.
4. *The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.*
 - The proposed outdoor dining platform does not extend beyond the limits of the existing limits of the parking spaces along Hamilton Row and thus would not create any more of a pinch point or traffic hazard in terms of the projection into the travel lanes of Hamilton Row. Additionally, there would no longer be vehicles coming in and out of those spaces, which could create a safer condition. However, Hamilton Row is well traveled by large vehicles such as semi-trucks and buses that may have issues being in such close proximity to patrons on the platform.
5. *The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.*
 - There are no buildings proposed as a part of the Final Site Plan & Design Review application submitted. Generally speaking, though, outdoor dining facilities are compatible with Downtown Birmingham and promote the spirit and purpose of the Zoning Ordinance.
6. *The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.*
 - There is no required landscaped open space as a part of this project.

9.0 Recommendation

Based on a review of the site plan submitted and the approval criteria of Article 7, Section 7.27 of the Zoning Ordinance, the Planning Department recommends that the Planning Board **APPROVE** the Final Site Plan/Design Review application for 283 Hamilton Row – Marrow – subject to the following conditions:

1. **The applicant must provide revised plans with all of the required dimensions for overhead weather protection on the outdoor dining platform;**
2. The applicant must submit and maintain a valid outdoor dining permit;
3. The applicant must comply with the requests of all City Departments.

10.0 Sample Motion Language

Motion to adopt the findings of the Planning Department in the report dated April 23, 2025 related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and **APPROVE** the Final Site Plan/Design Review application for 283 Hamilton Row – Marrow – subject to the following conditions:

1. **The applicant must provide revised plans with all of the required dimensions for overhead weather protection on the outdoor dining platform;**
2. The applicant must submit and maintain a valid outdoor dining permit;
3. The applicant must comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Final Site Plan & Design Review application for 283 Hamilton Row – Marrow – pending receipt of the following:

1. _____
2. _____
3. _____

OR

Motion to **DENY** the Final Site Plan & Design Review application for 283 Hamilton Row – Marrow – for the following reasons:

1. _____
2. _____
3. _____

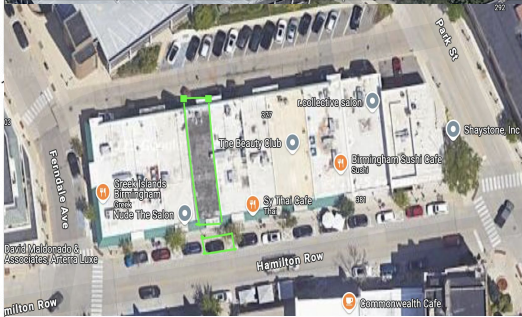
marrow provisions outdoor seating deck

studio ai architects
124 WEST 30TH STREET,
SUITE #205
NEW YORK NY 10001
T: 718 486 6268
www.studioai.com

283 Hamilton Row
Birmingham, MI 48009

MECHANICAL ENGINEER:

AERIAL VIEW OF SITE – NOT TO SCALE



SCOPE OF WORK:

1. NO CHANGE TO EXIST. INTERIOR & STOREFRONT AT 283 HAMILTON ROW
2. NO CHANGE TO EGRESS
3. REMOVE X1 PARKING SPOT
4. PROPOSED OUTDOOR SEATING AT 16 PPL
5. EXIST. INTERIOR SEATING AT 25 PPL
6. TOTAL SEATING = 41 PPL

DRAWING LIST

- A1 COVER PAGE + LOCATION MAP + SCOPE GENERAL NOTES
- A2 PLAN + SECTION + ELEVATION OF OUTDOOR DECK

PROJECT INFO

APPROX 1,400 SF UNIT, PART OF A SINGLE-STORY BUILDING LOCATED AT 221 HAMILTON ROW

ADDRESS: 283 HAMILTON ROW
BIRMINGHAM, MI 48009

PARCEL NO: 1925454005

ZONING USE GROUP: B4 – BUSINESS + RESIDENTIAL
RIGHT OF USE: (M) FOOD + BEVERAGE ESTABLISHMENTS

NO. OF STOREYS: 1–STOREY

UNIT AREA: 19’-4” STREET FRONTAGE X 71’-8” DEPTH

FLOOR AREA RATIO: EXIST – 1
PROPOSED – 1 (NO CHANGE)

SPRINKLER: EXIST – NONE
PROPOSED – NONE

CONSTRUCTION TYPE: TYPE 1B
CMU BEARING WALLS
UNPROTECTED STEEL JOISTS + DECKING

PROJECT:

MARROW BIRMINGHAM
283 HAMILTON ROW
BIRMINGHAM, MICHIGAN 48009

DEPT OF BUILDINGS COMMENTS

PROPOSED MATERIALS:

- DECKING:** TREX “ENHANCE NATURALS”
COLOR: ROCKY HARBOR
1 X 6 NOMINAL
- RAILING:** PEAK RAILING
BLACK ALUM SYSTEM 42” HIGH
- PLANTERS:** PLANTER CRAFT
BLACK ALUM PLANTER
48 X 24 X 42H
- OUTDOOR TABLES:** LANCASTER TABLE
EXCALIBUR BISTRO SERIES
- OUTDOOR CHAIRS:** LANCASTER TABLE
EXCALIBUR BISTRO SERIES
STRAKING ARM CHAIRS
- SIGNAGE PANEL:** SAME AS DECKING
- PATIO UMBRELLA:** MDTOWN UMBRELLAS
GRANDE SQUARE 919

TREX – COMPOSITE DECKING



PEAK RAILINGS – 42” TALL BLACK ALUM RAILING



PATIO UMBRELLA (9FT X 9FT)



LANCASTER SEATING & TABLE



ENGINEER/ARCHITECT STAMP:

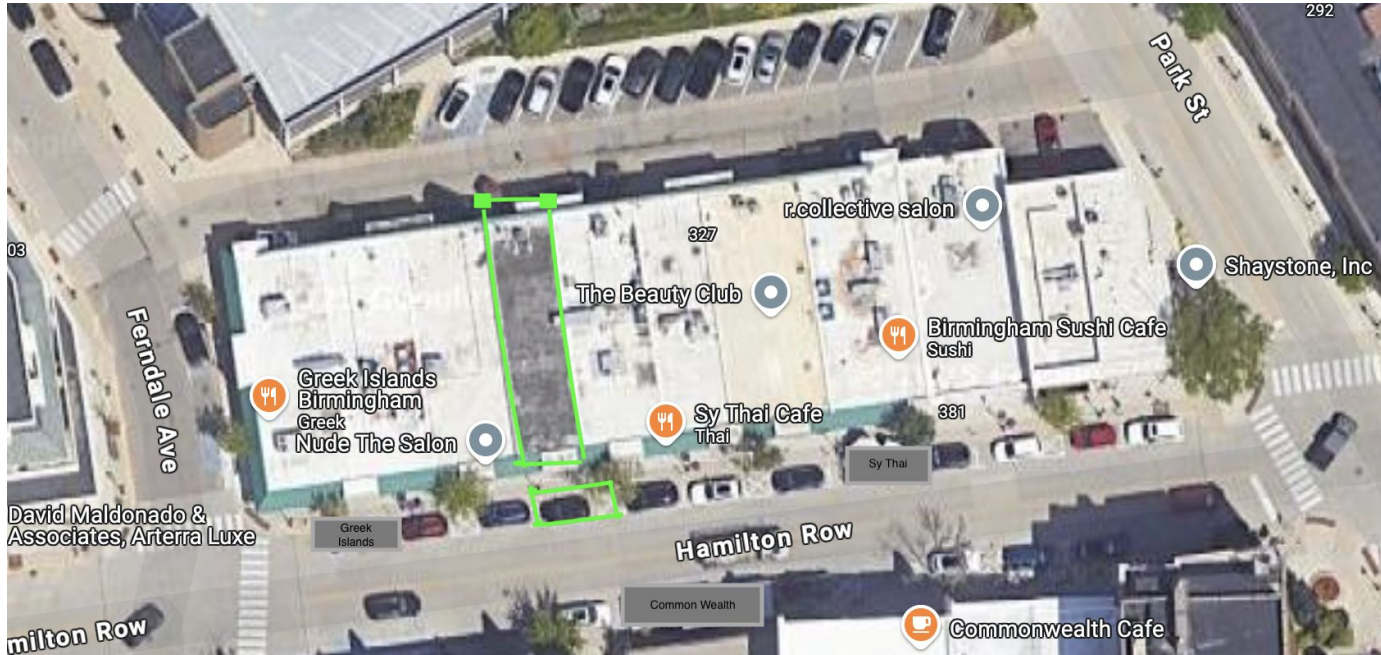


© COMMENTS REVISIONS 2025

PAGES:	1
PHASE:	OUTDOOR SEATING
SCALE:	
DATE:	20 MAY 2025
RE-ISSUE:	

COVER PAGE, DWG LIST &
PROJECT INFORMATION

Aerial View of 283 Hamilton Row Including Neighboring Patios



Confirmation of Lease Commencement Date

The Lease between Hamilton Row Investments, LLC, as Landlord, and Backbone Retail, LLC, as Tenant, for the property located at 283 Hamilton Row, Birmingham, Michigan, was executed on February 9, 2024.

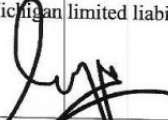
This agreement shall confirm that the Commencement Date of the Lease was February 16, 2024.

Hamilton Row Investments, LLC
A Michigan limited liability company



By: Keith Butler
Its: Manager

Backbone Retail, LLC
A Michigan limited liability company



By: Yi Ping H
Its: Manager

Addressing Planning Board's 5/14 Feedback

- Updated patio request is to occupy 1 parking space and scaled down the seats to 16 accommodate.
- Variance between the shop door when open and the patio ramp is 7'
- Included aerial view of the street with neighboring patios
- Included updated aerial view of the street outlining the correct parking space request

Additional Notes

- Added trash receptacles on to plan to be in accordance with the city
- Included seasonal propane heater that will only be used on patio in cold months with the umbrellas removed from the patio



MEMORANDUM

Planning Department

DATE: June 11, 2025

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Impervious Surfaces, Open Space and Lot Coverage – Public Hearing

Recently, the Planning Board has begun to work through some perceived issues with the City's current definition of impervious surface. The remediation of these issues align with the current policy direction of the City related to reducing extreme weather impacts on the community, in this case through the mitigation of stormwater. Over several months in 2024, the Planning Board reviewed a variety of definitions and ultimately determined that a broader approach is warranted to achieve the goals of the City. It was discussed that at this point, the broader approach should include open space and impervious surfaces, but should also consider lot coverage, which are all integrally related zoning issues. It is worth noting that in the City of Birmingham, minimum open space and maximum lot coverage standards only exist for single family developments (R1A – R3). In all multifamily and commercial zoning districts, minimum open space and maximum lot coverage is not applicable. The major applicable definitions found in Article 9, Section 9.02 of the Zoning Ordinance are as follows:

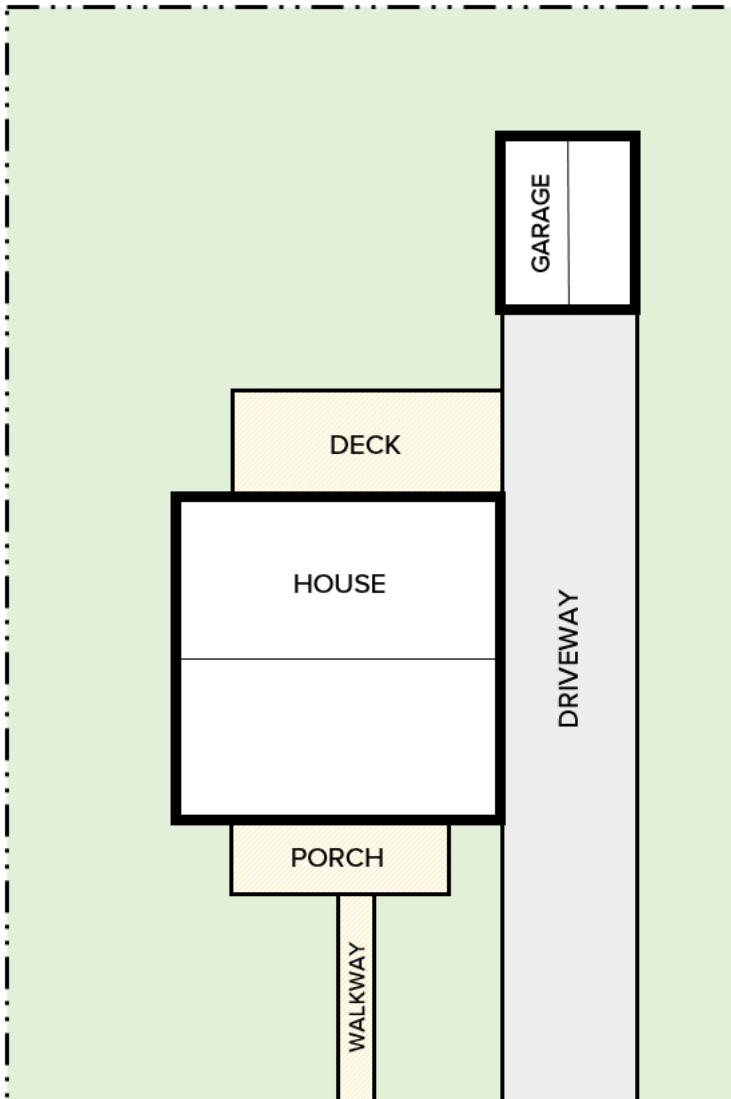
Open Space: All area of a lot except the areas occupied by a building, structure or impervious surface, excluding items listed in [4.30\(C\)](#), Projections into Required Open Spaces.

Open Space, Percent: The total area of open space divided by the total area of a lot in which the open space is located. Items listed in [4.30\(C\)](#), Projections into Required Open Space, shall be included as open space.






Impervious Surface: Any material which prevents the infiltration of surface water, such as concrete, blacktop, asphalt, brick, stone or a similar material, but excluding sidewalks 3 feet or less in width.

Lot Coverage, Percent: The area of a lot that is covered by buildings and structures divided by the total lot area, excluding those items listed in 4.30(C), Projections into Required Open Spaces.

To help understand how these three basic components of zoning are related, please see the following illustration:



LEGEND

-  PROPERTY LINE / AREA
-  OPEN SPACE
-  IMPERVIOUS SURFACE
-  LOT COVERAGE
-  EXCLUSIONS / EXCEPTIONS

ZONING RESTRICTIONS: R1A – R3

MINIMUM OPEN SPACE – 40%

$$\left(\text{PROPERTY LINE} - \text{IMPERVIOUS SURFACE} - \text{LOT COVERAGE} \right) / \text{PROPERTY LINE} = 40\%$$

MAXIMUM LOT COVERAGE – 30%

$$\left(\text{HOUSE} + \text{GARAGE} \right) / \text{PROPERTY LINE} = 30\%$$

In addition to these basic concepts and definitions, there are specific standards relating to open space in Article 4, Sections [4.30](#) and [4.31](#) of the Zoning Ordinance. Particularly consequential are the paved surface limitations outlined in 4.31, which cap paved surfaces in the front open space at 35%. Paved surface is not defined in the Zoning Ordinance, but is described in this section as “concrete, blacktop, gravel, brick or a similar material.”

Before picking this study back up after a pause, the Planning Board last discussed the issue of the definition of impervious surfaces on December 11, 2024 ([Agenda](#) – [Minutes](#)).

STUDY SESSION #1 (February 12, 2025 | [Agenda](#) – [Minutes](#))

At this point, the Planning Department is seeking feedback from the Planning Board on where a solution may fit within the context of open space, impervious surface, and lot coverage. Summarizing feedback from previous meetings, the Planning Board has indicated that although they do not feel as though stone is impervious, there was a general consensus that the board did not want to see entire yards covered in stone. At this point, although lot coverage is a related issue, the definition is rather specific and may not lend itself well to tackling this specific issue. Rather, it seems prudent to either redefine Open Space, introduce a new term, create a purpose and intent, modify the specific standards in 4.31, or any combination thereof.

In addition to the definitions provided in previous meetings (December 11, 2024), please find additional definitions for consideration at this time:

[ROYAL OAK, MI](#)

Lot Coverage: The percentage of the lot area covered by the building area.

[FERNDALE, MI](#)

Lot Coverage: The percentage of the lot occupied by buildings, including accessory structures.

Yard: An open space, unoccupied and unobstructed from the ground upward, and being on the same lot with a building. The measurement of a yard is the minimum horizontal distance between the lot line and the building or structure.

Additional District Standards for Single Family Residential (R-1 and R-2): For all residential uses: 50% of the front yard and 50% (of the total) of the two side yards must be maintained as landscaped, green space. Permeable pavers or other semi-hardscape materials are not considered a landscaped, green space.

[ANN ARBOR, MI](#)

Open Space: The unenclosed portion of a lot that is devoted to space for recreation, greenery, and household activities. Open space area may include, but shall not be limited to, lawns, landscaping and gardens, wooded areas, sidewalks and walkways, active and passive recreational areas, unenclosed accessory structures used for recreation purposes, permanent or seasonal water surfaces, and protected natural areas. It shall not include areas covered by parking lots, driveways, refuse facilities, or enclosed accessory structures.

CANTON, MI

Lot Coverage: The part or percent of the lot that is occupied by buildings or structures.

Open Space: That part of a zoning lot, including courts and/or yards, which is open and unobstructed from its lowest level to the sky, and is accessible to all residents upon the zoning lot.

EAST LANSING, MI

Open Space: Open space means an area of land associated with and located on the same tract of land as a major building or group of buildings, in relation to which it serves to provide light and air or scenic, recreational, or similar purposes. Such space shall be suitably improved for its intended use. Such space shall, in general, be of such a location, shape, and character suitable for entry and use by the occupants of the building or buildings involved, but may include a limited proportion of space so located and treated as to enhance the amenity of the development by providing landscaping features, screening for the benefit of the occupants of those in neighboring areas, or a general appearance of openness. Open space area may include, but shall not be limited to lawns, decorative plantings, wooded areas, landscaped areas covering structures that are not more than 12 feet above ground level, sidewalks and walkways, active and passive recreational areas, and permanent water surfaces that comprise not more than 20 percent of the total open space area. It shall not include parking lots or other vehicular surfaces or accessory buildings other than swimming pools.

MARQUETTE, MI

Impervious Surface: Any surface that cannot be effectively and easily penetrated by water, thereby resulting in runoff. Examples include, but are not limited to, "Lot Coverage" (as defined in this Ordinance) and any material (asphalt, concrete, compacted stone and gravel, etc.) used in roads, driveways, decks, terraces, patios, porches, or sidewalks that cannot be effectively and easily penetrated by water. Impervious surfaces shall exclude roads, driveways, and sidewalks that are composed of materials that will allow infiltration and prevent runoff, such as permeable pavers, permeable pavement, or crushed stone or pea stone that does not bind. The definition of an impervious surface shall also exclude decks, terraces, patios, or porches that are composed of pervious materials and/or designed to allow for easy infiltration and underlain with materials that will allow infiltration and prevent runoff. Natural and artificial water bodies, including swimming pools, shall not be classified as impervious surfaces.

Open Space: Open space is the part of a parcel (which includes required yards) that is open and unobstructed from its lowest level to the sky, except for specific permitted obstructions and access ways, and that is accessible to and usable by all persons that have rights to use the property.

[STERLING HEIGHTS, MI](#)

Impervious Surface: A surface consisting of impervious material that prevents or hinders the absorption or infiltration of water, or that causes reduced quality of runoff water, or causes water to runoff in greater quantities or at greater flow rates than the natural surface. It includes but is not limited to grade-level surfaces such as hard-surfaced driveways, service walks, patios and decks, pool decks, gazebo floors, recreational vehicle or equipment storage pads, vehicle parking or turn-around pads, or outdoor sports courts, if constructed of impervious materials that do not contain substantial spaces that allow drainage of water.

Impervious Material: A hard-surfaced material through which water cannot penetrate or through which fluid does not readily pass due to low porosity, very small individual pores, or pores that are disconnected.

Lot Coverage: That part or percentage of lot occupied by principal and accessory buildings.

Open Space: Land required by this ordinance to remain as open space to be used for recreation, resource protection, amenity or other specified purpose.

[NOVI, MI](#)

Open Space: An area of land that remains primarily undeveloped and in its natural state. For the purpose of this Ordinance, open space may include park lands and park facilities so long as they are provided as a part of an open space area.

Lot Coverage: The part or percent of the lot occupied by buildings including accessory buildings.

[TRAVERSE CITY, MI](#)

Impervious Surface: Impervious surface means any material which prevents, impedes or slows infiltration or absorption of storm water directly into the ground at the rate of absorption of vegetation bearing soils, including building, asphalt, concrete, gravel and other surfaces.

[ROCHESTER HILLS, MI](#)

Lot Coverage: The part or percentage of the lot occupied by buildings, including accessory buildings.

Yard: An open space other than a courtyard located on the same lot as a main building or use, unoccupied and unobstructed from the ground upward, except as otherwise provided herein. In measuring to determine the width of a yard, the minimum horizontal distance between the lot line and the main building shall be used.

Study Session #2 (April 9, 2025 | [Agenda](#) – [Minutes](#))

The Planning Department has developed new language based on a new strategy, which is to modify slightly the Open Space Standards of [Article 4, Section 4.30](#) and [Article 4, Section 4.31](#) of the Zoning Ordinance. This strategy focuses on the desired composition or open space, which is

predominantly natural living vegetation, while also providing flexibility for property owners to add a pervious material like stone or gravel in places where that type of material may be more suitable. Please see the attached language for consideration.

Study Session #3 (May 14, 2025 | [Agenda](#))

The Planning Department made minor changes based on the discussion at the Planning Board and requested that the Planning Board set a public hearing to review the proposed ordinance amendments to Article 4, Section 4.30, Open Space Standards, to add Additional Open Space Standards for single-family residential zoned properties, Article 4, Section 4.31, Open Space Standards, to modify the Paved Surface Limitations in the R1, R1A, R2 and R3 Zoning Districts, and Article 9, Section 9.02, Definitions, to modify the definition for Impervious Surface.

Public Hearing (June 11, 2025)

The Planning Department has prepared the final language for the proposed ordinance amendments to Article 4, Section 4.30, Open Space Standards, to add Additional Open Space Standards for single-family residential zoned properties, Article 4, Section 4.31, Open Space Standards, to modify the Paved Surface Limitations in the R1, R1A, R2 and R3 Zoning Districts, and Article 9, Section 9.02, Definitions, to modify the definition for Impervious Surface and is requesting that the Planning Board recommend that the City Commission approve the proposed amendments.

Sample Motion Language

I move that the Planning Board recommend that the City Commission **APPROVE** the proposed ordinance amendments to Article 4, Section 4.30, Open Space Standards, to add Additional Open Space Standards for single-family residential zoned properties, Article 4, Section 4.31, Open Space Standards, to modify the Paved Surface Limitations in the R1, R1A, R2 and R3 Zoning Districts, and Article 9, Section 9.02, Definitions, to modify the definition for Impervious Surface.

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CITY OF BIRMINGHAM

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

ARTICLE 4, SECTION 4.30, OPEN SPACE STANDARDS, TO ADD ADDITIONAL OPEN SPACE STANDARDS FOR SINGLE-FAMILY RESIDENTIAL ZONED PROPERTIES

This Open Space Standards section applies to the following districts:



The following open space standards apply:

- A. Minimum Open Space: The minimum open space shall be as per each two-page layout in Article 2.
 1. **Additional Open Space Standards for Single-Family Residential (R1A – R3)**: The required open space for all single-family development must consist of a minimum of 75% vegetated open space. Permeable pavers or other semi-hardscape materials are not considered vegetated open space.
- B. Maximum Lot Coverage: The maximum lot coverage shall be as per each two-page layout in Article 2.
- C. Projections into Required Open Space: Projections into the open spaces required by each two-page layout in Article 2, shall be permitted as follows:
 1. An unenclosed, covered or uncovered, concrete, masonry or wooden porch, deck and/or steps may project into a front open space for a maximum distance of 10 feet. The floor of a porch, deck or top step shall not be higher than the floor of the first story. This provision shall not reduce the required front set-back to less than 10 feet. Said porches and decks shall not project into the required side open space, except as provided elsewhere in this Article. Said porches and decks shall be restricted to 1 story in height.

2. Roof overhangs, cornices, eaves, gutters, lintels, planter boxes, chimneys, bay windows and similar projections may extend or project into a required open space not more than 2 inches for each 1 foot of width of such required open space provided that such extensions may not project more than 2 feet into the front or rear open space, except as provided elsewhere in this Article.
3. Patios, terraces, porches or decks may not project into the required side open space except that steps leading to an entrance, patio, terrace, porch or deck may project into the required side open space. Such steps shall project not more than 3 inches for each 1-foot width of such required open space up to a maximum of 3 feet. Where the side open space is required by this chapter for parking or driveway purposes, the projection shall not reduce the drivable or usable area for those purposes to less than 7 feet in width.
4. Basement window wells may project into the required side open space and rear open space a maximum of 3 feet measured to the inside of the well opening. Basement window well structures may not project more than 8 inches above grade, excluding the height of an approved guard rail. Basement window wells that project into the required side open space or rear open space shall not exceed 6 feet in width and must be covered at grade with a suitable covering capable of sustaining the weight of not less than 500 pounds or be enclosed with a guard rail in accordance with the current applicable edition of the Michigan Residential Building Code or the Michigan Building Code.
5. A porch, deck and/or steps may project into a rear open space for a maximum distance of 15 feet. The floor of said porch, deck or top step shall not be higher than the floor of the first story. This provision shall not reduce the required rear setback to less than 15 feet. Said porches and decks shall not project into the required side open space, except as provided elsewhere in this Article. Said porches and decks shall be restricted to 1 story in height.
6. When no exterior staircase exists for an accessory structure, a bonus of 75 square feet of area is permitted in the accessory structure if used for an interior fixed and stationary staircase.
7. Accessible ramps and structures for disabled persons are permitted to project into the front and rear open space the minimum distance and width required to accommodate the ramp or structure per the residential building code and to allow uninhibited access to a dwelling unit.
 - a. A permit application is required, without an associated fee, to erect an accessible ramp or structure into the front or rear open space to ensure that

the ramp or structure is erected in accordance with the Residential Building Code.

- b. It is required that the accessible ramp or structure which has been erected, be removed after the disabled person no longer needs the accommodation, or vacates the property, whichever occurs first.

ORDAINED this _____ day of _____, 2025 to become effective 7 days after publication.

Therese Longe, Mayor

Alex Bingham, City Clerk

CITY OF BIRMINGHAM

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 4, SECTION 4.31, OPEN SPACE STANDARDS, TO MODIFY THE PAVED SURFACE LIMITATIONS IN THE R1, R1A, R2 AND R3 ZONING DISTRICTS.

This Open Space Standards section applies to the following districts:

R1 R1A R2 R3

The following open space standards apply:

A. Paved Impervious Surface Limitations:

1. A minimum of 65% of the front open space in all single-family districts shall be **vegetated open space** free of ~~paved surfaces (i.e., concrete, blacktop, gravel, brick or a similar material), excluding encroachments, uncovered porches, sidewalks 3 feet in width or less, and handicap access ramps~~ **impervious surfaces. Permeable pavers or other semi-hardscape materials are not considered vegetated open space.**
2. Motor vehicles are only permitted within the front open space on a paved surface in conformity with the requirements of Chapter 110 of the Birmingham City Code.

ORDAINED this _____ day of _____, 2025 to become effective 7 days after publication.

Therese Longe, Mayor

Alex Bingham, City Clerk

CITY OF BIRMINGHAM

ORDINANCE NO. _____

THE CITY OF BIRMINGHAM ORDAINS:

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF BIRMINGHAM:

TO AMEND ARTICLE 9, SECTION 9.02, DEFINITIONS, TO MODIFY THE DEFINITION FOR IMPERVIOUS SURFACE

~~Impervious Surface: Any material which prevents the infiltration of surface water, such as concrete, blacktop, asphalt, brick, stone or a similar material, but excluding sidewalks 3 feet or less in width.~~

Impervious Surface: A surface that restricts the infiltration of water into the ground such as all roofs, streets, sidewalks, driveways, parking lots, pavers, highly compacted soils, artificial turf, and other similar material, but excluding sidewalks 3 feet or less in width located in the front open space.

ORDAINED this _____ day of _____, 2025 to become effective 7 days after publication.

Therese Longe, Mayor

Alex Bingham, City Clerk



MEMORANDUM

Planning Department

DATE: June 11, 2025

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Project Updates & Information

The following report contains the most recent updates on projects that have completed by the Planning Board and are on to the next steps of approval. In addition, other significant development-related projects that have been reviewed or embarked upon by boards/commissions such as the Historic District Commission, Design Review Board, Multi-Modal Transportation Board, or similar bodies have been included for reference as well.

Site Plan & Design Reviews

- 2159 E. Lincoln – Lincoln Yard – Temporary Certificate of Occupancy has been issued
- 35001 Woodward – Land lease executed by City Commission/design development, site plan extension granted on April 23, 2025
- 239 N Old Woodward – Bloom Bistro – Under construction
- 300 S. Old Woodward – Restoration Hardware – Under construction
- 707 S. Worth – Temporary Certificate of Occupancy has been issued
- 243 Merrill – La Strada – Final inspections
- 320 Martin – Birmingham Post Office – Permitting
- 34350 Woodward – Fred Lavery Porsche – Permitting, site plan extension request granted on March 26, 2025.
- 479 S. Old Woodward – Birmingham Tower – Under construction
- 245 S. Eton – Big Rock – Under construction
- 33866 Woodward – The Vault – Permitting
- 370 E. Brown – Under construction
- 298 S. Old Woodward – Daxton – Variance hearing scheduled at the Board of Zoning Appeals on June 10, 2025
- 163 W. Maple – Origins Café – Permitting and licensing

City Commission

- 33278 Woodward – Ducati Detroit – Set Public Hearing (Waiting on Applicant)
- 185 N. Old Woodward – Bell Bistro – Public Hearing set for June 23, 2025.
- 280 E. Lincoln – Grace Baptist Church – Public Hearing set for June 9, 2025. Board of Zoning Appeals granted both requested variances on May 13, 2025

Ordinance Amendments/Master Planning

- -

Non-Planning Board Projects

- 185 Oakland – Belfor – Façade renovations, permitting
- 33680 Woodward – Petrucci Studio – Under construction
- 138 W. Maple – Blakeslee Building – Façade renovations, permitting
- 34500 Woodward – Golling Fiat – Façade renovations, design development
- 106 S. Old Woodward – O’Neal Building – Façade renovations, permitting

- Historic Preservation Master Plan – In progress.



MEMORANDUM

Planning Department

DATE: June 16, 2024

TO: Jana L. Ecker, City Manager

FROM: Nicholas Dupuis, Planning Director

SUBJECT: Planning Board & City Commission Joint Meeting

1. What to Expect from a Zoning Ordinance Update

On May 19, 2025 ([Agenda](#)), the City Commission moved to adopt budget appropriations for the 2025-2026 Fiscal Year that included \$200,000 to update the City's Zoning Ordinance, which is the next logical progression of the Birmingham Plan 2040 ("2040 Plan"). The Planning Board has been preparing for a Zoning Ordinance update for some time, predominantly through prioritizing the recommendations within the 2040 Plan, which were reviewed with the City Commission at a Joint meeting on June 10 2024 ([Agenda – Minutes](#)). The prioritization was subsequently formalized by the City Commission during their regular meeting on July 8, 2024 ([Agenda – Minutes](#)) where they assigned each prioritization matrix related to the Birmingham 2040 Plan to the corresponding board/commission and to authorized the Planning Board to provide oversight of the prioritization matrices, with the understanding that the Planning Board would provide annual updates to the City Commission of progress and any changes.

Timeline

Having been allocated funds through the budget process by the City Commission, the next step in the Zoning Ordinance update process is to develop and circulate a Request for Proposals (RFP). At this time, the Planning Board expects to be ready with an RFP in July 2025, and would expect to have responses returned in August 2025. Once received, the Planning Board and City Commission will begin the selection process that will include evaluations and interviews (if necessary), and will ultimately award a contract to the selected consultant. The Planning Board and City Commission can expect that a rough timeline of work will be submitted with RFP responses, but it can be assumed that much of the work will not fully begin until early 2026.

Public Process

Much like the timeline of the Zoning Ordinance update, the public engagement process will be heavily defined in the RFP process and selection of a consultant. At a high level, though, it is important to note that the City should expect that this process will be flush with opportunities for the public to provide input at all stages of the project. It is expected that this will include not only open public meetings, but specific engagements designed to provide the public a multitude of different opportunities to provide input.

Best Practices

As stated in guidance issues by the Michigan Municipal League, a master plan serves as the basis for the zoning ordinance to ensure that existing and future development move the community towards its vision. The master plan establishes a vision and intent for policy, but the zoning ordinance includes the regulatory framework to achieve development goals and applies the force of law. Best practice suggests that once a new plan is adopted, it should be used as a tool to inform decisions made by the City regarding ordinance amendments, site plans or special land uses. Any zoning changes should have common intent and correlate with the vision for development. If the master plan and ordinance are implemented with shared intent, changes in the built environment will be required to adhere to regulations that support the community's long-term goals.

When updating a Zoning Ordinance, the City should also expect to pay close attention to state and federal influence on zoning based on rules and regulations at each level of government.

Overall, best practices for a Zoning Ordinance rewrite suggest that the City should aim to develop a document that is:

- Intuitive and logically organized
- Clear, concise and engaging
- Supplemented with graphics/illustrations
- Modern and cross-referenced

Questions:

- Does the City Commission have any major considerations that they would like the Planning Board to consider during this process?

2. Outdoor Dining Platforms

As the City of Birmingham has enabled outdoor dining on public and private property for nearly three decades, the City has enjoyed a number of high quality outdoor dining facilities where people can enjoy a meal during the spring, summer and fall months. These outdoor dining facilities and the associated regulations help activate public space, foster economic development, safeguard the use of public property, and provide flexibility for current trends and future demands for outdoor dining.

As the City has evolved, particularly Downtown, the number of food and drink establishments that contain outdoor dining facilities is significant. These outdoor dining facilities are not limited to full service restaurants or liquor license holders – many casual dining establishments are also taking advantage of the additional seating for their customers. Of particular concern are outdoor dining platforms, mostly due to their

relationship with the City's public parking system. Of the 48 food and drink establishments that have a permitted outdoor dining facility, 15 (31%) are located on outdoor dining platforms. These existing outdoor dining platforms exist either wholly or partially in 25 on-street parking spaces. At the time of this report, there are 3 more outdoor dining platforms in the process of site plan approval (3 parking spaces total). Each of these platforms is located in what would be considered the Downtown "core" and are all within a XXX sq. mile area of each other.

At this point, the City of Birmingham does not have a cap on the number of outdoor dining platforms generally, nor any sort of metric to limit outdoor dining platforms at a street, block, or other similar level of analysis.

Questions:

- Does the City Commission wish to direct the Planning Board to study the number, density and locations of outdoor dining platforms Downtown?
- If so, what are some major considerations that the City Commission feels should be taken into account?

June 3, 2025

Chairperson
Birmingham Planning Commission
151 Martin St
Birmingham MI 48012

Re: Adopted Master Plan

Pursuant to the requirements of the Michigan Planning Enabling Act, P.A. 33 of 2008, as amended, the city is notifying the planning commission of each adjacent municipality, the Oakland County Board of Commissioners, the Oakland County Zoning Coordinating Committee, the Road Commission for Oakland County, the Michigan Department of Transportation, and jurisdictional public utility companies, railroads, public transportation systems of its adopted Master Plan.

The **adopted Master Plan** is available online at: www.romi.gov/301/Master-Plan

Respectfully,
CITY OF ROYAL OAK



Joseph M. Murphy
Director of Planning
Community Development Department



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY JUNE 25, 2025 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

- A.** Roll Call
- B.** Review and Approval of the Minutes of the Regular Meeting of **June 11, 2025**
- C.** Chairpersons' Comments
- D.** Review of the Agenda
- E.** Meeting Open to the Public for Items Not on the Printed Agenda
- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Special Land Use Permits
 - 1. **479 S. Old Woodward – Birmingham Towers – Request for Special Land Use Permit to Modify Floor Plans and Seek Approval of a Parking Waiver Pursuant to Article 3, Section 3.04 (D)(3)(a) of the Zoning Ordinance.**
- I.** Community Impact Studies
- J.** Site Plan & Design Reviews
 - 1. **479 S. Old Woodward – Birmingham Towers – Request for Final Site Plan & Design Review to Modify Floor Plans and Seek Approval of a Parking Waiver Pursuant to Article 3, Section 3.04 (D)(3)(a) of the Zoning Ordinance.**
- K.** Study Session
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - ii. **2025-2026 Budget – Zoning Ordinance Update**
 - 3. Administrative Approval Correspondence
 - i. **June 6, 2025 – June 20, 2025**
 - 4. Draft Agenda – **July 9, 2025**
 - 5. Action List – **2025**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/111656967>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building security, public entrance during non-business hours is through the Police Department — Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or 248-644-3405 (TDD) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-3405 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY JULY 9, 2025 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

- A.** Roll Call
- B.** Review and Approval of the Minutes of the Regular Meeting of **June 25, 2025**
- C.** Chairpersons' Comments
- D.** Review of the Agenda
- E.** Meeting Open to the Public for Items Not on the Printed Agenda
- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Community Impact Studies
- I.** Special Land Use Permits
- J.** Site Plan & Design Reviews
- K.** Study Session
 - 1. **Triangle District Bonus Height Requirements Phase 2 – Study Session**
 - 2. **Childcare Ordinance – Study Session**
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - 3. Administrative Approval Correspondence
 - i. **June 20, 2025 – July 4, 2025**
 - 4. Draft Agenda – **July 23, 2025**
 - 5. Action List – **2025**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

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Planning Board Action List – 2025

Topic	General Goals	City Commission Directive?	2040 Plan	Quarter	Status	
					In Progress	Complete
Comprehensive Zoning Ordinance Update	Update the Zoning Ordinance based on recommendations of the 2040 Plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Ongoing	<input type="checkbox"/>	<input type="checkbox"/>
Triangle District Bonus Height Requirements	Create a new list of bonus height provisions for the Triangle District	<input type="checkbox"/>	<input type="checkbox"/>	1 st (January-March)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Impervious Surface, Open Space & Lot Coverage	Review and improve standards for impervious surfaces and ensure consistency with open space and lot coverage goals	<input type="checkbox"/>	<input type="checkbox"/>	1 st (January-March)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Public Project Review Process	Develop a comprehensive set of guidelines for the review of public development projects	<input type="checkbox"/>	<input type="checkbox"/>	2 nd (April-June)	<input type="checkbox"/>	<input type="checkbox"/>
“Create a Woodward Safety and Beautification Plan.”	Begin to address the Woodward divide.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3 rd (July-September)	<input type="checkbox"/>	<input type="checkbox"/>
Ordinance Enforcement	Maintain a vibrant community.	<input type="checkbox"/>	<input type="checkbox"/>	4 th (October-December)	<input type="checkbox"/>	<input type="checkbox"/>