



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY JANUARY 28, 2026 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

- A.** Roll Call
- B.** Review and Approval of the Minutes of the Regular Meeting of **December 10, 2025**
- C.** Chairpersons' Comments
- D.** Review of the Agenda
- E.** Meeting Open to the Public for Items Not on the Printed Agenda
- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Community Impact Studies
- I.** Special Land Use Permits
 - 1. **600 N. Old Woodward – Old World Pizza – Request for Special Land Use Permit Review for New Food & Drink Establishment on O2 (Office-Commercial) Zoning District).**
- J.** Site Plan & Design Reviews
 - 1. **600 N. Old Woodward – Old World Pizza – Request for Final Site Plan & Design Review for New Food & Drink Establishment on O2 (Office-Commercial) Zoning District).**
 - 2. **325 S. Eton – District Lofts Phase 3 – Request for Final Site Plan & Design Review for Re-Approval an Expired Site Plan for a New 4-Story Mixed-Use Building.**
- K.** Study Session
 - 1. **Zoning Ordinance Update Project – Update**
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - i. **168 W. Maple – Teuta – Bistro & Outdoor Dining Plan**
 - 2. Communications
 - i. **Project Updates**
 - ii. **Meeting Times & New Agenda Software**
 - 3. Administrative Approval Correspondence
 - i. **December 5, 2025 – January 23, 2026**
 - 4. Draft Agenda – **February 11, 2026**
 - 5. Action List – **2026**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/111656967>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building security, public entrance during non-business hours is through the Police Department — Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or 248-644-3405 (TDD) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).



**Planning Board – Regular Meeting Minutes
December 10, 2025 – 7:30 p.m.
City Commission Room 205, 151 Martin Street, Birmingham, MI**

Minutes of the regular meeting of the City of Birmingham Planning Board held on December 10, 2025. The meeting was convened at 7:30 p.m.

A. Roll Call

Present: Vice Chair Bryan Williams; Board Members Robin Boyle, Stuart Jeffares, Daniel Share, Janelle Whipple-Boyce; Alternate Board Members Duncan Currie, Nasseem Ramin

Absent: Chair Scott Clein; Board Member Bert Koseck; Student Representatives Carter Anderson, Olivia Betanzos

Staff: Planning Director Dupuis; City Planner Aldred-Arens, City Planner Blizinski, City Transcriptionist Eichenhorn, Planning Intern Milia

B. Approval Of The Minutes Of The Regular Planning Board Meeting of November 12, 2025

12-61-25

**Motion by Share
Seconded by Whipple-Boyce to approve the minutes of November 12, 2025 as presented.**

Motion carried, 7-0.

VOICE VOTE

Yeas: Jeffares, Whipple-Boyce, Ramin, Currie, Share, Boyle, Williams

Nays: None

C. Chair's Comments

The Vice Chair welcomed everyone to the meeting and reviewed the meeting's procedures.

L. Miscellaneous Business and Communications

1. Pre-Application Discussions

i. 34952 Woodward

The Board chose to hear Item L1 before Item K1 as a courtesy to the applicants.

The applicant team presented the proposal.

Board consensus was that there would be interest in further reviewing the proposed project and that matters of parking, working with MDOT, accommodating the bus stop, the proposed double-level amenity, unit sizes, and adjacent intersection traffic effects would need to be clarified.

D. Review Of The Agenda

E. Meeting Open to the Public for Items Not on the Printed Agenda

F. Unfinished Business

G. Rezoning Applications

H. Community Impact Study and Site Plan Review

I. Special Land Use Permits

J. Site Plan & Design Reviews

K. Study Session

1. Zoning Ordinance Update Project – Consultant Selection

The Vice Chair introduced the second part of the consultant selection process. PD Dupuis presented staff findings regarding the consultant interviews and answered informational questions.

Board members expressed the following views during discussion:

- The present goal is to align the zoning ordinance with the 2040 Plan. It is not to create a new master plan. The City would benefit from national best practices in this regard.
- Staff's preference for Houseal Levine should be weighted heavily, since staff would be working extensively with the selected firm.
- A majority of Board members felt Houseal Levine's presentation paid specific attention to Birmingham's needs, and a minority of Board members did not. There was also disagreement along the same lines as to whether Houseal Levine's example projects were relevant enough to Birmingham's conditions.
- Houseal Levine aligned with the City's budget for this process and described creative community engagement opportunities. Their presentation was enthusiastic, detailed, clear in scope and mission, and included awards won by the firm. Houseal Levine's proposal included the creation of a story map, which would illustrate for the public the ordinance revision process. Houseal Levine described having skill with GIS and with aligning their work with the systems Birmingham already has in place. Euclid HL might also be a useful feature.
- If the City proceeds with Houseal Levine, the Board would likely be able to work directly with the firm without requiring the creation of an additional ad hoc board.
- Kendig Keast's presentation focused more on the City's specific needs and goals than on reiterating the firm's resume. It also provided written, tailored information on how they would support Birmingham, and provided useful examples of ordinances written for similar municipalities. Kendig Keast's example ordinances were clear and easy to follow. The information they provided at the presentation included their letterhead, which demonstrated their attention to detail.

- There was some concern about the number of projects the President of Kendig Keast was already involved in. The level of enthusiasm from leadership compared to Houseal Levine's seemed to be less. That said, the firm has a good team with very good reviews.
- McKenna's example ordinances were also clear and easy to follow, which is an essential qualifier for this project. The information they provided at the presentation also included their letterhead, which demonstrated their attention to detail.
- Those that did not rank Houseal Levine first still believed it would deliver a superlative product.
- All of the submissions were exceptionally well done.

For four Board members, Houseal Levine was the top choice, and for one Board member it was the second choice.

For two Board members, Kendig Keast was the top choice, and for two Board members it was the second choice.

For one Board member, McKenna was the second choice.

12-62-25

Motion by Currie

Seconded by Boyle to recommend that the City Commission select Houseal Levine for the purposes of performing a comprehensive Zoning Ordinance Update for the City in accordance with the specifications contained within Houseal Levine's response to the City's Request for Proposals.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Jeffares, Whipple-Boyce, Ramin, Currie, Share, Boyle, Williams

Nays: None

- 2. Communications**
- 3. Administrative Approval Correspondence**
- 4. Draft Agenda**
- 5. Action List**
- 6. Other Business**

The Vice Chair thanked the staff for all of their work and wished them happy holidays.

12-63-25

Motion by Share

Seconded by Whipple-Boyce to move that the rules of procedure for the two meetings in January be suspended such that either or both could be a meeting that considers both site plans and study sessions.

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Jeffares, Whipple-Boyce, Ramin, Currie, Share, Boyle, Williams

Nays: None

M. Planning Division Action Items

- 1. Staff Report on Previous Requests**
- 2. Additional Items from tonight's meeting**

N. Adjournment

No further business being evident, the meeting adjourned at 8:55 p.m.



Nick Dupuis, Planning Director



Laura Eichenhorn, City Transcriptionist

DRAFT



MEMORANDUM

Planning Department

DATE: January 28th, 2026

TO: Nicholas Dupuis, Planning Director

FROM: Leah Blizinski, City Planner

SUBJECT: 600 N. Old Woodward Suites 101 & 203 – Old World Pizzeria – Special Land Use Permit, Final Site Plan & Design Review

INTRODUCTION:

The applicant has submitted a Special Land Use Permit application for a food or drink establishment in the O2 (Office Commercial) zoning district at the north end of Downtown Birmingham. The necessity for a Special Land Use Permit is simple in that the O2 zoning district requires such for a food or drink establishment. There will be no liquor sales for on premise or off premise consumption at this juncture. The restaurant will have seating as well as carryout options.

In the recent past, the subject site was home to Café Succo, a food and drink establishment operating under a Special Land Use Permit since 2013. Café Succo was a sit down juice bar and coffee shop and also did not offer liquor sales for on premise or off premise consumption.

The proposed new restaurant, Old World Pizzeria, will serve pizza for takeout or eat-in with a modest amount of seating proposed. The proposal includes the kitchen in the basement, a kitchen and service counter on the first floor, seating for 8 (4 chairs and 4 tables, with seating for 4 on a bench along the front wall) in a dining area at the front of the first floor (N. Old Woodward side). There are no outdoor seats proposed at this time.

1.0 Land Use and Zoning

- 1.1 Existing Land Use – The subject site is currently a 2-story commercial building and is currently operating as a takeout and sit down food and drink establishment.
- 1.2 Zoning – The subject site exists within the O2 (Office-Commercial) and D2 (Downtown Overlay) zoning districts.
- 1.3 Summary of Adjacent Land Use and Zoning –

	North	South	East	West
Existing Land Use	Commercial	Public Property	Public Property	Multiple Family Residential
Existing Zoning District	O2 – Office Commercial	PP – Public Property	PP – Public Property	R6 – Multiple Family Residential
Overlay Zoning District	D2	D2	N/A	N/A

2.0 Setback and Height Requirements

There are no changes to the bulk, height or placement and no issues associated with the proposed project.

3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The applicant has stated that although there are no waste receptacles on site, they have secured dumpster privileges for the common dumpster in the rear public parking lot area.
- 3.2 Parking Lot Screening – The proposed restaurant does not contain an off-street parking facility, thus the parking lot screening requirements are not applicable.
- 3.3 Mechanical Equipment Screening – There are no changes proposed to the existing rooftop units, nor are any new rooftop or ground mounted mechanical units proposed.
- 3.4 Landscaping – There are no changes proposed to the landscaping on site.
- 3.5 Streetscape – The subject site’s location in the north end of Downtown Birmingham and the public parking facility directly in front of the building create a poor environment for benches, bike racks or waste receptacles. The area across the parking facility and the boulevard on N. Old Woodward contain street trees and streetlights.

4.0 Parking, Loading and Circulation

- 4.1 Parking – The subject site is located within the former Parking Assessment District, thus no parking analysis is required for the commercial use proposed.
- 4.2 Loading – Article 4, Section 4.24 does not require commercial uses between 0 and 10,000 sq. ft. to provide any off-street loading facilities. The building is 1,425 sq. ft. and thus does not require an off-street loading space.

- 4.3 Vehicular Circulation and Access – Vehicles access the site via a public parking facility directly adjacent to the site. There are no changes proposed in this regard.
- 4.4 Pedestrian Circulation and Access – Pedestrian access to the building is located through a single door on the N. Old Woodward façade. No changes are proposed to the entrance.

5.0 Lighting

There are no new exterior light fixtures proposed as a part of this project. The building currently contains 2 gooseneck light fixtures over the front window.

6.0 Design Review

There are no exterior changes proposed to the building at this time.

7.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Photometric Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Colored Elevations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Material Specification Sheets	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Material Samples	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

8.0 Approval Criteria

In accordance with Article 7, section 7.27 of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

1. *The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.*

The location, size and height of the building, walls and fences is not changing and therefore adequate landscaped open space so as to provide light, air and access to the persons occupying the structure will remain.

2. *The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.*

The location, size and height of the building, walls and fences is not changing and therefore there will be no interference with adequate light, air and access to adjacent lands and buildings.

3. *The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.*

The location, size and height of the building, walls and fences is not changing and will not hinder the reasonable development of adjoining property nor diminish the value thereof.

4. *The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.*

The site plan, and its relation to streets, driveways and sidewalks does not interfere with and is not hazardous to vehicular and pedestrian traffic. None of the existing conditions with respect to these items is changing.

5. *The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.*

The proposed development is extremely similar to what was previously existing on the site and is compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of the chapter.

6. *The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.*

The location, shape and size of required landscaped open space is not changing and is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

Additionally, Article 7, Section 7.36 states that the City Commission shall not approve of any requests for a special land use permit unless it determines that the following standards are met:

1. *The use is consistent with and will promote the intent and purpose of this Zoning Ordinance.*

The pizzeria use is consistent with and will promote the intent and purpose of the Zoning Ordinance.

2. *The use will be compatible with adjacent uses of land, the natural environment, and the capabilities of public services and facilities affected by the land use.*

A takeout pizza counter with limited eat-in space is compatible with adjacent use of land, the natural environment and the capabilities of public services and facilities affected by the land use.

- 3. *The use is consistent with the public health, safety and welfare of the city.*

The use is consistent with the public health, safety and welfare of the city.

- 4. *The use is in compliance with all other requirements of this Zoning Ordinance.*

The use is in compliance with all the other requirements of the Zoning Ordinance.

- 5. *The use will not be injurious to the surrounding neighborhood.*

The use will not be injurious to the surrounding neighborhood.

- 6. *The use is in compliance with state and federal statutes.*

To the best of our knowledge, the use is in compliance with state and federal statutes.

9.0 Recommendation

Based on a review of the site plan submitted, the Planning Department finds that the proposed Special Land Use Permit, Final Site Plan and Design Review application meets the requirements of Article 7, section 7.27 and 7.36 of the Zoning Ordinance. Thus, the Planning Department recommends that the Planning Board recommend **APPROVAL** to the City Commission the Special Land Use Permit, Final Site Plan and Design Review for 600 N. Old Woodward Suites 101 & 203 – Old World Pizzeria.

10.0 Sample Motion Language for Special Land Use Permit

Motion to adopt the findings of the Planning Department in the report dated January 28, 2026 related to the approval criteria outlined in Article 7, Section 7.36 of the Zoning Ordinance and recommend that the City Commission **APPROVE** the Special Land Use Permit application for 600 N. Old Woodward Suites 101 & 203 – Old World Pizzeria.

OR

Motion to **POSTPONE** the Special Land Use Permit and Final Site Plan for 600 N. Old Woodward Suites 101 & 203 – Old World Pizzeria – pending receipt of the following:

- 1. _____
- 2. _____
- 3. _____

OR

Motion to recommend that the City Commission **DENY** the Special Land Use Permit and Final Site Plan for 600 N. Old Woodward Suites 101 & 203 – Old World Pizzeria – for the following reasons:

1. _____
2. _____
3. _____

11.0 Sample Motion Language for Final Site Plan & Design Review

Motion to adopt the findings of the Planning Department in the report dated January 28, 2026 related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and recommend that the City Commission **APPROVE** the Final Site Plan & Design Review application for 600 N. Old Woodward Suites 101 & 203 – Old World Pizzeria.

OR

Motion to **POSTPONE** the Final Site Plan & Design Review application for 600 N. Old Woodward Suites 101 & 203 – Old World Pizzeria – pending receipt of the following:

1. _____
2. _____
3. _____

OR

Motion to adopt the findings of the Planning Department in the report dated January 28, 2026 related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and recommend that the City Commission **DENY** the Final Site Plan & Design Review application for 600 N. Old Woodward – Old World Pizzeria – for the following reasons:

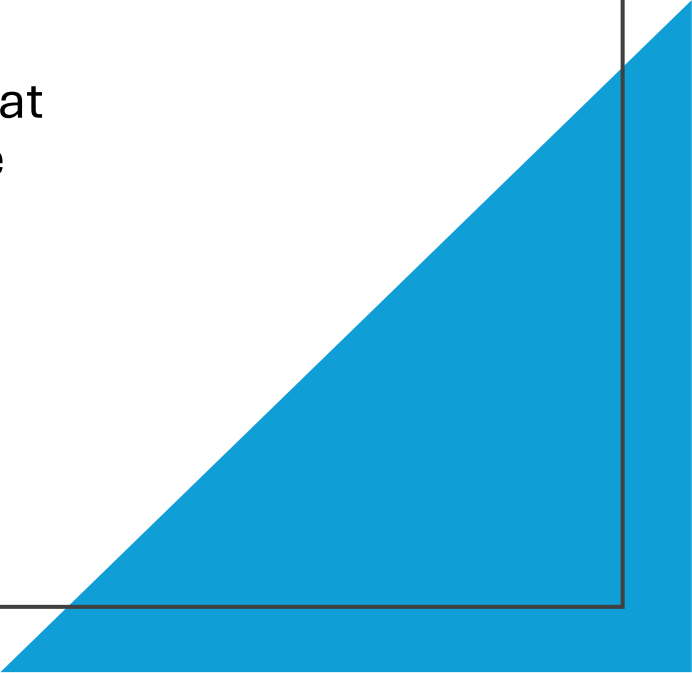
1. _____
2. _____
3. _____

Old World Pizzeria

Coming Soon To Suite 203 and Suite 101 located at
600 N. Old Woodward in the Maplewood Office Park

O.W.P.
OLD WORLD PIZZERIA

Project Goals

- **Bring Old World Pizzeria to Birmingham** with the same scratch-made dough, house recipes, and consistent guest experience.
 - **Create a vibrant, family-friendly neighborhood destination** that activates the street, supports walkability, and adds energy to the downtown dining mix.
 - **Invest long-term in the community** through local hiring, strong operations, and a high-quality buildout that adds to the already exceptional scene of Birmingham.
- 

Building Information

Formerly Café Succo

600 North Old Woodward Birmingham, MI

IMAGES | Existing Former Café Succo



The Original Old World Pizzeria

IMAGES | Existing OWP



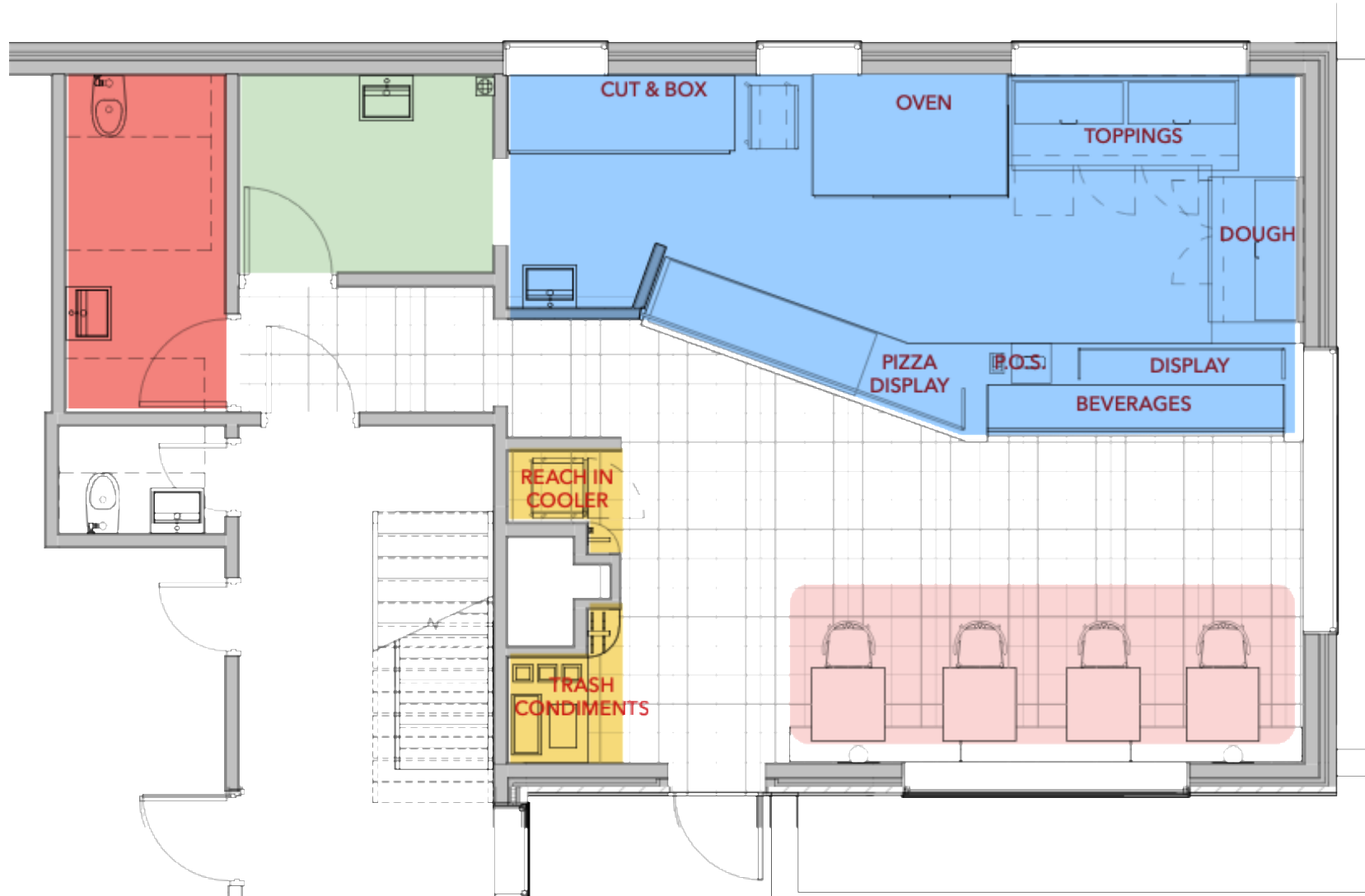


20" Round Pies



Proposed Plans

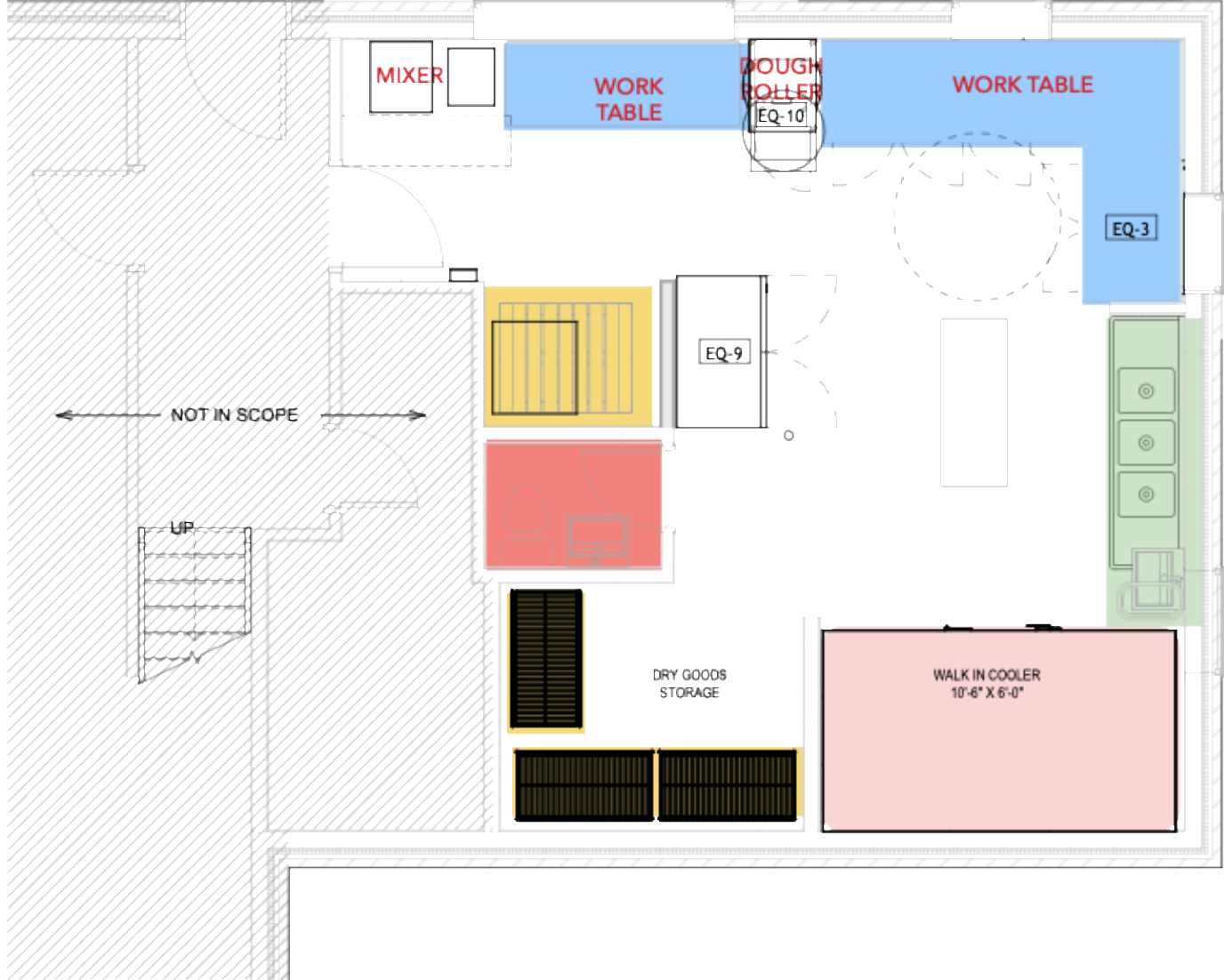
1ST FLOOR | Proposed Plan



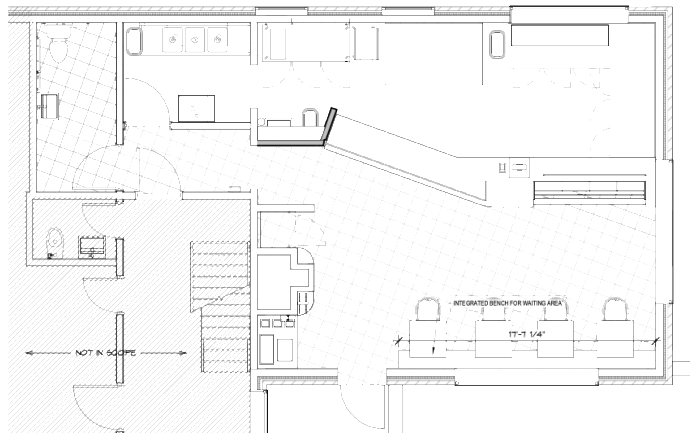
KEY

- FOOD PREP & DISPLAY
- 3 COMPARTMENT SINK
- TOILET ROOM
- STORAGE / DISPLAY
- SEATING AREA

BASEMENT | Proposed Plan



- KEY**
- FOOD PREP
 - 3 COMPARTMENT SINK
 - TOILET ROOM
 - STORAGE
 - WALK IN COOLER



FIRST FLOOR - FURNITURE

Scale: 1/4" = 1'-0"

Door Schedule

Dr. No.	Door Size	Door Location	Door Type	Material	Frame Type	Frame Material	Hardware Type	Rating	Remarks
001	3'-0" x 7'-0"	KITCHEN	EX	EX	EX	EX	EX	1	
002	2'-4" x 7'-0"	EX. BATH	EX	EX	EX	EX	EX	2	
100A	3'-0" x 7'-0"	KITCHEN	EX	EX	EX	EX	EX	1	
100B	3'-0" x 7'-0"	KITCHEN	EX	EX	EX	EX	A		
103	3'-0" x 7'-0"	DISHWASHER	EX	EX	EX	EX	B		
104	3'-0" x 7'-0"	RESTROOM	EX	EX	EX	EX	C		

REMARKS
 1. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN. LOCK TO BE RE-KEY.
 2. EXISTING DOOR, FRAME AND HARDWARE TO REMAIN.

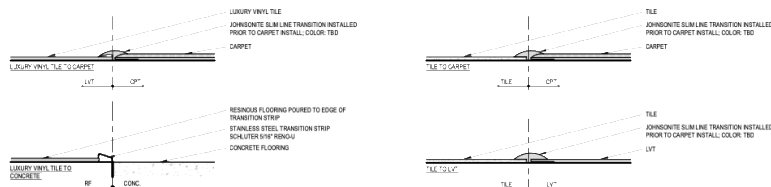
Hardware

INTERIOR DOOR - Set D Bulls Lockset w/ Keypad Bumper	INTERIOR DOOR - Set C Bulls Indicator Lockset w/ Lockset Bumper Closer	INTERIOR DOOR - Set G Bulls Lockset Bumper
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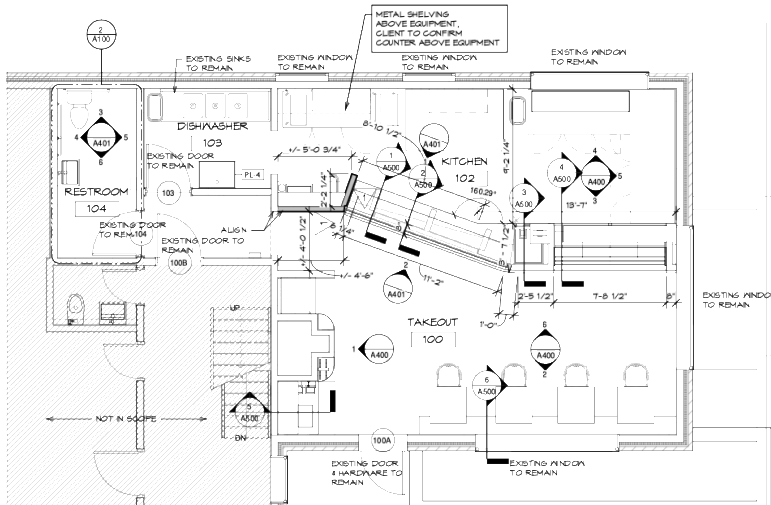
ALL DOORS TO HAVE LEVER HANDLE LOOK AND LATCHSETS TO MEET WITH BARRIER FREE REQUIREMENTS. SEE SPECIFICATIONS.
 ALL DOORS TO BE SOLID CORE WITH A STAIN / POLYURETHANE FINISH TO BE APPROVED BY OWNER. WOOD FRAMES TO BE PAINTED FINISH.

DOOR OPENING FORCE SHALL BE AS FOLLOWS:

1. INTERIOR HINGED DOORS (OTHER THAN FIRE DOORS)- 5.0 LBS OR 22.2 N.
2. SLIDING OR HINGED DOORS + RELEASED WITH A FORCE OF 15 LBS OR 67 N SET IN MOTION WITH A FORCE OF 30 LBS OR 133 N.

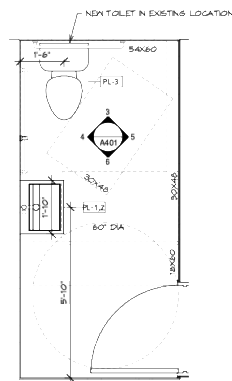


FLOOR FINISH TRANSITION



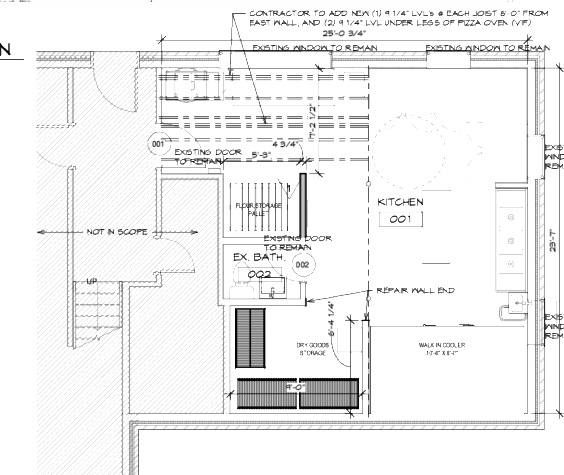
FIRST FLOOR - PLAN

Scale: 1/4" = 1'-0"



RESTROOM

Scale: 1/2" = 1'-0"

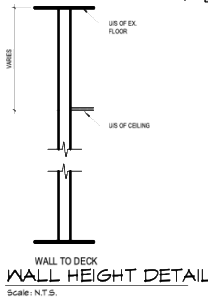


BASEMENT - PLAN

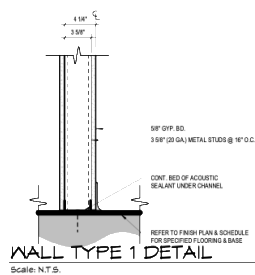
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WALL LEGEND

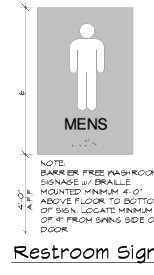
5/8" GYP BOARD ON BOTH SIDES OF 3/8" METAL STUD @ 16" O.C. GYP BOARD TO UNDERSIDE OF FLOOR DECK ABOVE. INSTALL MINERAL WOOL BATT INSULATION FOR THE FIRE BLOCKING AT ALL CEILING LINES AND AT THE TOP OF THE STUD WALL. INSTALL SLIP JOINT TOP TRACK TO THE UNDER SIDE OF THE EXISTING METAL DECK AND STRUCTURE.



WALL HEIGHT DETAIL
Scale: N.T.S.



WALL TYPE 1 DETAIL
Scale: N.T.S.



Restroom Sign

GENERAL NEW WORK FLOOR PLAN NOTES

1. ANY BALDOOT THAT IS DEVELOPED FROM THE INTENT OF THIS INFORMATION MUST COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS AND STANDARDS.
2. PROVIDE EXIT SIGNS AS REQUIRED WHICH SHALL CONFORM TO ALL APPLICABLE CODES. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED BY TWO ELECTRICAL LAMPS OR SHALL BE AN APPROVED SELF-ILLUMINATING TYPE. THE LUMINANCE ON THE FACE OF AN EXIT SIGN IS FROM AN EXTERNAL SOURCE. IT SHALL HAVE AN EXTENT OF NOT LESS THAN 3 FOOTCANDLES FROM EITHER LAMP. INTERNALLY ILLUMINATED SIGNS SHALL PROVIDE EQUALIZED LUMINESCENCE. THE COLOR AND DESIGN OF LETTERING, ARROWS AND OTHER SYMBOLS ON THE EXIT SIGN SHALL BE IN CONTRAST WITH THEIR BACKGROUND. WORDS ON THE SIGN SHALL BE IN BLOCK LETTERS. IF IN HEIGHT WITH A STROKE OF NOT LESS THAN 3/16". REFERENCE ELECTRICAL DWG. FOR QUANTITY & LOCATION.
3. EXITS SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED WITH LIGHT HAVING AN INTENSITY OF NOT LESS THAN ONE FOOTCANDLE AT FLOOR LEVEL.
4. REFER TO BASE BUILDING LIFE SAFETY AND REFLECTED CEILING PLANS FOR FIRE RATED PARTITIONS.
5. REMOVE EXISTING FINISHES AT EXTERIOR WALLS, COLLARS, AND FLOOR CORNERS WHERE THEY ARE PENETRATING/IMPENDING UNLESS OTHERWISE INDICATED.
6. FLOOR SURFACE TO BE CLEAN, SOUND AND MOISTURE FREE PRIOR TO INSTALLING ALL FLOOR FINISHES.
7. ALL DIRT, DUST, LANTACE, CURING COMPOUNDS, GLENE AND DELAMINATING MATERIALS MUST BE REMOVED PRIOR TO ANY MATERIAL APPLICATIONS.
8. COORDINATE FLOOR FINISH WITH FINISH PLANS.
9. REFER TO SHEET A.04 FOR EQUIPMENT SCHEDULE AND REFER TO SHEET A.03 FOR FURNITURE TAGS.
10. CARPENTRY CONTRACTOR TO PROVIDE BLOCKING PARTITIONS FOR ALL WALL MOUNTED INSTALLATIONS. BLOCKING TO BE NON-COMBUSTIBLE UNLESS OTHERWISE NOTED.
11. SEE FLOOR PLAN ON THIS SHEET FOR FIRE EXTINGUISHER LOCATIONS.
12. ALL CORNERS ARE DRAWN TO BE 90 DEGREES OR 45 DEGREES UNLESS OTHERWISE NOTED.
13. DIMENSIONS OF NEW WORK CAN BE WITHIN +/- 3/16".
14. FIELD VERIFY EXISTING WALL ASSEMBLY TYPES AND MATCH THE EXISTING WALL PROFILES WITH ALL NEW PARTITIONS WITH EXISTING.
15. REFER TO SHEET A.08 FOR TYPICAL DIMENSIONING CONVENTIONS USED FOR TOILET ROOM EQUIPMENT AND FIXTURES.

BUILDING NOTE

GO TO OVERALL 3/16" FIRE RETARDANT WALLS & B-MILLWORK FLOOR BLOCKING AS REQUIRED FOR TELEVISION, PLUMBING ACCESSORIES, COAT HOOKS, MIRROR, AND SIGNAGE.

NEW WORK PLAN LEGEND

- EXISTING WALL OR ELEMENT TO REMAIN
- PROPOSED NEW WALL
- EXISTING AREA NOT IN SCOPE OF THIS PROJECT
- WALL TYPE TAG
- FEC-01
- NON-RECESSED FIRE EXTINGUISHER CABINET
- PROPOSED NEW MILLWORK



Moselew/Gordon Associates, Inc.
 4351 Delamere Court
 Royal Oak, MI 48073
 248.549.4500 voice
 248.549.7300 faxes
 www.mga-architects.net

provoke design
 Provoke Design
 248.943.8943 voice
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Client:
Old World Pizza
 600 N. Old Woodward Ave,
 Birmingham, MI

Project Title:
Pizzeria Interior Build-Out
 600 N. Old Woodward Ave.,
 Birmingham, MI

Sheet Title:
FLOOR PLAN

Project Number: 25438
Drawn By: M.J.N
Checked By: M.J.N
Approved By: A.J.M
Date: 10-13-2025

Issued:
 For Permit Set 11-12-25
 Progress Set 12-18-25
 Permit Set 1-16-26

Sheet Number:

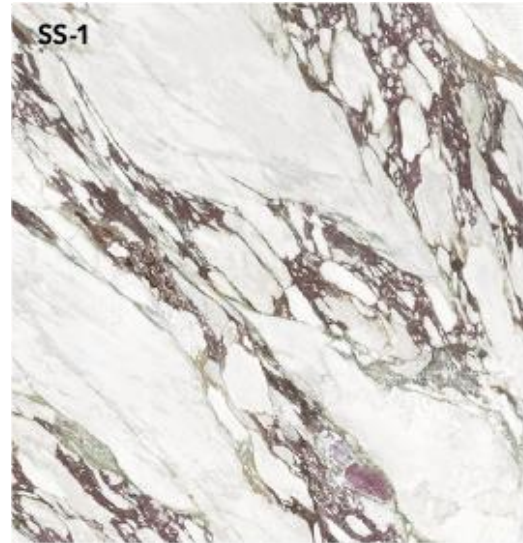
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>>> **finishes**

BRAND INTERPRETATION | OWP



FINISH UPDATE | Look & Feel



Concept Photo 3D Rendering



Concept Photo 3D Rendering



Thank you!



MEMORANDUM

Planning Department

DATE: January 28, 2026

TO: Planning Board Members

FROM: Lauren Milia, Planning and Sustainability Intern

SUBJECT: 325 S. Eton Street – District Lofts Phase 3 – New Mixed Use Four Story Building
– Final Site Plan & Design Review

The applicant for 325 S. Eton Street is applying to complete Phase III for the District Lofts which is proposed to be a 4 story mixed-use building with first floor commercial space and 50 residential units. The subject site for the Phase 3 building currently consists of The Reserve banquet and dining hall just south of the intersection of S. Eton and E. Maple. The Reserve obtained a Final Site Plan and SLUP approval in 2003 as it exceeds 6,000 square feet and operates past 11pm.

District Lofts Phase III is part of the Eton Condominium Properties which is 143,593 square feet and encompasses the triangular area from Villa Street to E. Maple, bound by S. Eton to the west and the railroad to the east. The entire property consists of five buildings including the Grand Trunk Railroad Depot currently occupied by Big Rock Chophouse, The Reserve, a three story private parking deck, District Lofts Building A, and District Lofts Building B.

On September 9th, 2021 ([Agenda](#) – [Minutes](#)), the Planning Board accepted the CIS for District Lofts Phase III and approved the Preliminary Site Plan.

On December 16, 2021 ([Agenda](#) – [Minutes](#)), the Planning Board approved the Final Site Plan and Design Review application for the new 4-story mixed use building with several approval conditions, most of which still apply today.

[Article 7, Sec. 7.28](#) of the Zoning Ordinance states that "Site Plan approval shall be valid for a period of one year from the date it is granted." Thus, the original site plan approval has expired and the applicant is reapplying for Final Site Plan and Design Review. There have been no changes to the proposed plans from the 2021 approval. This report provides updates where necessary, and applies any new standards to any applicable section.

1.0 Land Use and Zoning

- 1.1 Existing Land Use – The existing land uses on the site include The Reserve banquet facility, the Big Rock restaurant, a 3-story parking deck, District Lofts Building A (2051 Villa), and District Lofts Building B (375 S. Eton).
- 1.2 Zoning – The northern portion of the property is zoned B-2B, General Business. The southern portion of the site is zoned MX, Mixed-Use. The proposed new building is entirely within the MX zone. The proposed uses appear to conform to the permitted uses of their respective Zoning Districts.
- 1.3 Summary of Adjacent Land Use and Zoning - The following chart summarizes existing land use and zoning adjacent to and/or in the vicinity of the subject site.

	North	South	East	West
Existing Land Use	Public Property	Commercial, Live-work, Multi-family	Railroad	Commercial, Multi-family Residential
Existing Zoning District	PP Public Property	MX - Mixed Use	MX	B-1 – Neighborhood Business, R-6 – Multiple-Family Residential
Overlay Zoning District	N/A	N/A	N/A	N/A

2.0 Area, Setback, and Height Requirements

The attached summary analysis provides the required and proposed bulk, area, and placement regulations for the proposed project. The applicant appears to satisfy the majority of the bulk, height, and placement requirements for the MX Zoning District, and is able to achieve the Floor Area Ratio requirement of the MX District by satisfying the FAR parking requirement in excess of the general parking standards.

The applicant must submit complete floor plans indicating the number of bedrooms for all units in order to verify the minimum lot area per unit requirement. Units 101-105, 201, 301, and 401 do not currently have verifiable bedroom plans.

Please see the attached Zoning Compliance Summary Sheet for detailed zoning compliance information.

3.0 Screening and Landscaping

- 3.1 Dumpster Screening – The site plan indicates that the applicant is not proposing any changes to the existing three dumpster locations across the various areas the site which have previously obtained site plan approval. The dumpsters located at the northeast and southeast portion of the parking structure will be for residential use, while the dumpster adjacent to Big Rock will remain for the restaurant. The current Reserve dumpster is intended to be used by the Phase III building tenants which consists of 6' 6" enclosure with a painted metal frame and doors consisting of vertical wooden boards. All dumpsters appear to satisfy the screening requirements, and there are no trash rooms proposed within the Phase III building at this time.
- 3.2 Parking Lot Screening – The surface parking for Big Rock is adequately screened by a masonry screen wall from S. Eton Rd. The surface parking on the southeast corner of the property is also screened by a masonry wall from Villa Ave. All other parking is screened within the parking structure located behind the District Loft Buildings.
- 3.3 Mechanical Equipment Screening –The applicant has indicated a 5.5' pre-finished metal mechanical screenwall on the rooftop. The applicant has also provided a rooftop plan indicating locations of rooftop mechanical units. Rooftop mechanical units are proposed to be 31" in height, therefore adequate rooftop screening is provided.

There are three ground mounted transformers located on the south side of the building which are screened by the building along with 30"-36" Hatfield Yew and 30"-36" Koreanspice Viburnum. **The applicant must provide dimensions of the electronic transformers to verify they are properly screened.**

- 3.4 Landscaping – A detailed landscape plan has been provided which shows extensive plantings surrounding the building and a remodeling of the central gathering space. The building frontage along Eton Street is lined with Dense Yew clipped evergreen hedges. The north elevation is proposed to have All Gold Japanese Forest Grass along the commercial space with four Tree Form Limelight Hydrangea dwarf flowering trees. The residential courtyards on the north elevation are proposed to have Emerald Green Arborvitae, Green Carpet Pachysandra groundcover, and Bobo Hydrangea and Pinky Winky Hydrangea for flowering shrubs.

The eastern elevation is also surrounded with Dense Yew clipped evergreen hedges and Tree Form Hydrangea. Hameln fountain grass is also proposed to wrap around the southeast corner into the pedestrian walkway between 325 & 375 S. Eton.

The southern elevation is lined with Emerald Green Arborvitae, Little Lime Hydrangea, and Little Quick Fire Hydrangea. A dog run with synthetic turf is

proposed between the building and pedestrian pathway and will be lined with Hatfield Yew evergreens and Koreanspice viburnum. A new Presidential Gold Ginkgo surrounded by Koreanspice viburnum is also proposed for the southwest corner beside the dog run.

The applicant is also proposing the addition of a new gathering space central to the three residential buildings. The gathering space is proposed on what is now visitor parking for District Lofts which is adjacent to the parking deck. The existing fountain on the south side of the access drive at the Building B entrance is proposed to be moved across the access drive and be a focal point of the gathering space. There will be a grassy lawn with Green Carpet Pachysandra, Green Velvet Boxwood, Hatfield Yew, and Bobo Hydrangea surrounding the fountain. Resident space with a pergola, grill and firepit will be surrounded by Dense Yew, Presidential Gold Ginkgo, Little Quick Fire Hydrangea, and All Gold Japanese Forest Grass. The existing Pear trees will provide a buffer between the gathering space and the parking structure.

Based on the goals of the [Birmingham Green Healthy Climate Plan](#), the Planning Department recommends replacing non-native species with native alternatives. Dense Yew, Hatfield Yew, and Green Velvet Boxwood may be replaced with Inkberry holly (*Ilex glabra*). Green Carpet Pachysandra may be replaced with Northern barren strawberry (*Waldsteinia fragarioides*). Koreanspice viburnum may be replaced with flowering dogwood or native mock orange (*Philadelphus lewisii*). Removal of pear trees to be replaced with redbud or serviceberry is also recommended.

- 3.5 Streetscape Elements – The current streetscape in front of the property contains only a 5 ft. sidewalk to the edge of the curb – no furnishing zone, greenspace, or other elements exist on public property. The applicant is proposing to run the public sidewalk through their property and provide a new greenbelt where the street trees and other streetscape elements would be located. The applicant has indicated an easement to accommodate the new 5 ft. sidewalk. Should the streetscape be constructed per the current site plans, the applicant would need to complete a formal public access easement agreement with the City for the sidewalk space prior to building plan approval.

However, as noted in the Engineering Department comments below, another change that has happened between their previous approval and now is the evolution of the design of the Eton Road Resurfacing project that is currently slated for construction in 2027. As a part of the design, the curb adjacent to the subject property is planned to push out further, which would likely leave ample space for all of the public amenities (sidewalk, greenbelt, etc.) to exist on public property. Due to this preferred scenario, the applicant could either (1) continue to provide paved open space in the area that they are currently proposing or (2) adjust their site plans to reflect something new in the space. **The applicant should work with the City to update their plans based on the new proposed design of Eton Road and adjust their plans if necessary.**

One street tree is required for every 40 feet of street frontage, as per Article 4, Section 4.20(G) of the Zoning Ordinance. The updated landscaping plan indicates four (4) new Presidential Gold Ginkgo trees between the sidewalk and S. Eton Street. The applicant has previously planted trees in the right-of-way along Villa and S. Eton in front of Building A and Building B and has proposed to continue this provision.

The Rail District Streetscape Standards adopted April 20, 2009 requires streetlights, benches, bike racks and trash receptacles of a specific style. The Reserve banquet facility was approved in 2003 and was not subject to the current streetscape standards at that time. The applicant is proposing five (5) new city-standard light poles which satisfies the requirement of one street light per 40 feet of frontage requirement.

The applicant has also indicated two new city-standard benches in front of the entrances for two of the first floor tenant spaces. The applicant has also proposed one (1) city-standard Rail District bike rack and one (1) city-standard Rail District trash receptacle at the southwest corner of the building near the walkway between 325 and 375 S. Eton.

Rail District streetscape elements have different designs than those used in the Downtown or Triangle District. The applicant has installed proper street streetscape elements for the Rail District in front of Buildings A and B of District Lofts which must be continued in front of the Phase III building. **The applicant is expected to provide the appropriate city standard elements and must provide specification sheets indicating the proper city standard Rail District street lights, benches, and bike racks that will be installed during permit review.**

4.0 Parking, Loading and Circulation

4.1 Parking – In accordance with Article 4, Section 4.42 of the Zoning Ordinance, below are the following parking requirements for each building and the entire site of District Lofts, including the addition of Phase III. The applicant is also using additional parking provisions to satisfy the Floor Area Ratio requirements as per Article 2, Section 2.40 MX (Mixed Use):

- The Big Rock Chophouse is 11,051 SF of restaurant use which requires 1 space per 75 SF, totaling 148 spaces.
- 2051 Villa (Building A) has 8,000 SF of office which required 1 space per 300 SF (27), 7 one bedroom units requiring 1 space per unit (7), and 12 two-bedroom units requiring 1.25 space per unit (15), totaling 49 parking spaces.
- 375 S. Eton (Building B) has 10,400 SF of office (35), 7 one-bedroom units (7), and 11 two bedroom units (14), totaling 56 parking spaces.
- 325 S. Eton (Phase III) is proposing 6,600 SF of office / retail (21), 47 one-bedroom units (47) and 3 two-bedroom units (4), totaling 73 parking spaces.

- The entire site area is 143,593 SF while the applicant has proposed a total gross floor area of 160,712 for all commercial and residential buildings. The proposed floor area exceeds a 100% Floor Area Ratio (FAR) by 17,119 SF. **The MX zone permits an excess of 100% FAR, up to 150%, if one parking space is provided for every 300 SF in excess of the 100% FAR. Therefore an additional 57 spaces is required (17,119 SF / 300 SF = 57 spaces).**

Big Rock Chop house	148 spaces
2051 Villa (Building A)	49 spaces
375 Eton Street (Building B)	56 spaces
<u>Phase III Building</u>	<u>73 spaces</u>
General Requirements	326 spaces
<u>17,119 SF over 100% FAR</u>	<u>57 spaces</u>
Total Required	383 spaces

The entire subject property has a parking structure serving all buildings within its boundary along with surface parking spaces and below ground spaces beneath 2051 Villa (A) and 375 S. Eton (B). Below are the following parking provisions on site:

Existing Parking Deck	262 spaces
Below ground spaces (A&B)	102 spaces
Surface lot facing RR	18 spaces
<u>Big Rock surface</u>	<u>21 spaces</u>
Total On-Site	403 spaces

The applicant satisfies the parking requirement by 20 parking spaces on-site based on uses indicated in the submitted plans. There is an opportunity to request an additional 12 on-street parking spaces along Villa from City Commission, however the applicant does not intend to pursue such spaces at this time. **Staff would like to note that the applicant has indicated 6,600 SF for the first floor commercial space with three tenant spaces as either an office or retail use. If these spaces are filled with uses such as a salon or restaurant, the parking requirement for the entire site will increase due to different parking requirements of the uses. An excess of 20 spaces may not be adequate for highly intensive parking uses such as a salon or restaurant in all three commercial spaces.**

- 4.2 Loading – In accordance with Article 4, section 4.21 of the Zoning Ordinance, two loading spaces are required for the proposed development, which must be 12’ by 40’ in size, and must be screened with 6’ high screening in accordance with Article 4, section 4.49. In addition, in the MX district, the loading areas are only permitted within the rear open space. The applicant shows 3 loading spaces on the plans at 12’ by 40’ in size, two within the rear open space on the north side and south side of the parking structure and one in the parking spaces adjacent to the new

development. The loading spaces appear to be screened by landscaping and buildings along Eton Street.

It does not appear as though the applicant is proposing two new loading spaces for the development. Rather, it appears as though they are suggesting that one new loading space be designated and the other required loading space be absorbed by one of the two existing loading spaces. The new proposed loading space on the north side of the development in the parking area is not a preferred condition. The Planning Department would like to suggest that the new development would not need to provide two *new* loading areas for the new development, but rather demonstrate that two loading spaces are available for use on the broader site. **The Planning Board may wish to discuss this determination.**

- 4.3 Vehicular Circulation and Access – The proposed development includes the removal of a curb cut facing S. Eton which currently provides access to The Reserve’s parking lot. District Lofts Phase III is proposing to build on top of The Reserve’s parking lot and eliminate automobile access to this area. Vehicular access to the subject site is available from Villa Road near the train tracks and from S. Eton Road between the proposed development and the existing Big Rock Chophouse. An access drive winds through the subject site, connecting the curb cuts on Villa Road and S. Eton. The access drive provides a vehicular connection to the four commercial buildings and the private parking structure.

Another update from their 2021 approval is the installation of a crash gate along the current access drive that prevents through traffic from Villa to Eton on the site. When the permits were issued for the gate in 2025, the applicant explained that it had become a safety concern for the residents of the site when the new restaurant was opened. The new site plans do not reflect a gate. **The Planning Board may wish to request that the applicant explain whether or not the gate would remain in the new site, and require them to update the plans accordingly.**

The site plan indicates a new gathering space in the central portion of the entire development. The existing fountain is being relocated from the south side of the access drive to the north side as a focal point of the gathering space. Existing parking spaces are being removed to accommodate space for the gathering area which the access drive wraps around.

In regards to a review of the traffic study report, the City’s consulting firm Fleis & Vandenbrink had no concerns regarding the development which was reviewed and accepted by the Planning Board on Sept 9th, 2021 during the CIS review.

- 4.4 Pedestrian Circulation and Access – The subject site has proposed ornamental brick pavers to delineate pedestrian crosswalks connecting the residential buildings to the gathering area, the parking deck, and Big Rock Chophouse – all on private property. Concrete pedestrian pathways also connect the S. Eton and Villa

sidewalks to the interior portion of the property. The gathering area is accessible from public and private walkway connections.

There are 3 doors facing S. Eton Street which provide pedestrian access to the proposed commercial space. A sidewalk also wraps around the northern elevation providing pedestrian access to the interior of the building and two ground floor residential units. A five foot sidewalk continues around the eastern elevation and provides pedestrian access to the residential lobby door and 3 additional ground level residential units.

5.0 Lighting

The photometric plan indicates a foot candle range of 0.1 to 1.9 for the parking lot circulation area between the Phase 3 building and Big Rock Chophouse, a ratio of 19:1 which satisfies the Zoning Ordinance's maximum foot candle ratio requirement of 20:1 for that area. However, Section 4, Article 4.21(F)(2) of the Zoning Ordinance requires that parking facility circulation areas have a minimum illumination level of two tenths (0.2) foot candles. Circulation area is defined in Article 9 of the Zoning Ordinance as areas within the perimeter of a site in which pedestrian or and/or vehicle movement takes place in order to access parking, buildings, or site amenities. The current photometric plan indicates foot candle values of 0.0 at the circulation area connecting the Phase 3 building to the parking structure. There currently appears to be a light at the pedestrian crosswalk connecting from the Phase 3 building to the parking structure however it is not included in the photometric plan. **The applicant must submit a revised photometric plan indicating proper illuminance levels for the circulation area connecting the Phase III building to the parking structure.**

The photometric plan indicates two 1,814 lumen BEGA linear wall luminaires on the eastern elevation at the residential lobby entrance facing the access drive and gathering area. Two single head, 4,741 lumen BEGA pole top luminaire light fixtures are proposed on the northern elevation between the proposed building and the Big Rock parking lot. The photometric plan indicates that the two new single-head pole light fixtures will be replacing the existing two-head light fixtures that currently illuminate the parking lots at both Big Rock and the Reserve. The applicant has indicated the pole height for each is 12 feet which satisfies the Zoning Ordinance requirement of 16 feet or less.

The gathering area is proposed to have 4 BEGA drive-over in-ground floodlights. Three of the lights are proposed to be near the residential lobby on the western elevation to illuminate the entrance area. Four ground lights are proposed for the gathering space across the access drive to illuminate the pergola and fountain.

The two wall luminaires at the residential lobby entrance and the drive-over in-ground floodlights are not full cut-off luminaires as required by the Zoning Ordinance, however the Planning Division considers the lights as an enhancement to the aesthetics of the building and the gathering area. Article 4.21(D)(1)(a)&(b) for general lighting standards allows for exceptions to cut-off luminaires be made if the luminaire is used for decorative enhancements and is neither obtrusive nor distracting. The proposed lights appear to be

decorative enhancements that are neither obtrusive nor distracting, therefore the Planning Division recommends the Planning Board allow the proposed non full cut-off lights.

6.0 Departmental Reports

6.1 Engineering Department – Please see the attached Engineering Department comments dated January 23, 2026.

6.2 Department of Public Services – The Department of Public Services has provided the following comment:

1. DPS would require a tree permit for the proposed street trees and have the cultivar changed to Ginkgo biloba 'Princeton Sentry' to avoid conflicts with the building and traffic clearance (the proposed cultivar on the site plan can have up to a 40' width at maturity).

6.3 Fire Department –The Fire Department indicated that the comments provided in 2021 are still relevant for the current proposed site plan:

1. The fire lane on the east side of the property shall provide proper turning radius for the Birmingham Fire Department's largest vehicle. Maintain 20 feet of width for this lane.
2. At the northeast side of the property, assure that a fire truck can turn into the lane without disruption of islands, structures or landscape.
3. Full fire suppression required.
4. Fire alarm system required.
5. The fire department connection (FDC) shall be installed on the Eton Street side with a fire hydrant within 100 feet of the FDC.
6. Fire pump installation required if water pressures are not sufficient for system installed. Back-up power system for this pump. Determination of this item at a later date when plans submitted and calculations made.
7. Knox box required for this building.
8. Emergency power shut off device installation Knox 4500 series box for fire department use.

6.4 Police Department – The Police Department has not provided comments at this time, but had no concerns in the 2021 approval.

6.5 Building Department – The Building Department has not provided and comments at this time. Any comments received will be supplied to the applicant in a timely manner.

8.0 Design Review

In regards to the first floor, There are three proposed office / retail tenant spaces facing S. Eton Street, along with five residential units on the north and east side of the building. **All three commercial spaces are less than 6,000 square feet, and therefore do not require SLUP approval.** The ordinance requires a ceiling height of 12 feet measured

from finished floor to finished ceiling for the 1st floor in the MX zone. The plans appear to satisfy this requirement from the exterior elevation, however interior plans have not been included in the final site plan review for verification. **Building plans submitted must verify a first floor ceiling height of 12 feet measured from finished floor to finished ceiling.**

The applicant is proposing a cast stone veneer with a cast stone water table for the first floor material. The commercial space facing S. Eton will have clear insulated glass in a pre-finished anodized aluminum frame system. The applicant has indicated a glazing percentage of 84% for the west elevation frontage on S. Eton which satisfies the 70% minimum. The applicant has also indicated first floor glazing calculations of 48% for the east elevation, 60% for the south elevation, and 67% for the north elevation which satisfies the ordinance requirement of not less than 30%. The applicant has indicated clear glass for the first floor by Cardinal Performance with a VLT of 82 which satisfies the Zoning Ordinance's minimum of 80.

The three commercial spaces on the first floor are proposed to have pre-finished metal awnings above each entrance. Staff would like to note that if future tenants wish to place signage on the awnings, the awning valance may be 9 inches maximum. The awnings project 4'2" from the building and do not encroach upon public property.

The ground floor residential entrances face north and east and provide access to the main lobby, stairway, elevator, and fitness room. The east facing entryway is complimented by landscaping, bike racks, and brick pavers connecting to the common gathering area. The first floor residential units facing north are proposed to have 42" decorative site walls with metal gates. The three units facing east do not have outdoor patio walls and have landscaping beds immediately outside of their door.

In regards to the upper stories, floors two and three are proposed to have a brick veneer exterior surrounding the majority of the building with a brick or cast stone water table between the third and fourth floor. The site plan indicates Savannah Clinker as the brick type. The center units on the second and third floor have a prefinished metal panel material instead of the brick and are inset from the western elevation. The dimensional and material change for the center units on floors two and three creates an enhanced architectural element to the central part of the building facing S. Eton Street.

The fourth floor exterior is proposed to consist of pre-finished metal panels with pre-finished metal awning and pre-finished metal coping at the rooftop. The applicant has indicated that the glazing for floors 2-4 is 35% which satisfies the Ordinance requirement of 50% maximum.

Residential units on floors 2-4 have pre-engineered pre-finished metal balconies with an integral handrail. The balconies project 5' from the building and do not encroach upon public property.

9.0 Required Attachments

	Submitted	Not Submitted	Not Required
Existing Conditions Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Detailed and Scaled Site Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Certified Land Survey	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Interior Floor Plans	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Landscape Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Photometric Plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Colored Elevations	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Specification Sheets	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Material Samples	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Site & Aerial Photographs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

10.0 Approval Criteria

In accordance with [Article 7, section 7.27](#) of the Zoning Ordinance, the proposed plans for development must meet the following conditions:

- (1) *The location, size and height of the building, walls and fences shall be such that there is adequate landscaped open space so as to provide light, air and access to the persons occupying the structure.*

The location, size and height of the building, walls and fences is not changing and therefore adequate landscaped open space so as to provide light, air and access to the persons occupying the structure will remain.

- (2) *The location, size and height of the building, walls and fences shall be such that there will be no interference with adequate light, air and access to adjacent lands and buildings.*

The location, size and height of the building, walls and fences is not changing and therefore there will be no interference with adequate light, air and access to adjacent lands and buildings.

- (3) *The location, size and height of the building, walls and fences shall be such that they will not hinder the reasonable development of adjoining property nor diminish the value thereof.*

The location, size and height of the building, walls and fences is not changing and will not hinder the reasonable development of adjoining property nor diminish the value thereof.

- (4) *The site plan, and its relation to streets, driveways and sidewalks, shall be such as to not interfere with or be hazardous to vehicular and pedestrian traffic.*

The site plan, and its relation to streets, driveways and sidewalks does not interfere with and is not hazardous to vehicular and pedestrian traffic. None of the existing conditions with respect to these items is changing.

- (5) *The proposed development will be compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of this chapter.*

The proposed development is extremely similar to what was previously existing on the site and is compatible with other uses and buildings in the neighborhood and will not be contrary to the spirit and purpose of the chapter.

- (6) *The location, shape and size of required landscaped open space is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.*

The location, shape and size of required landscaped open space is not changing and is such as to provide adequate open space for the benefit of the inhabitants of the building and the surrounding neighborhood.

11.0 Recommendation

Based on a review of the site plan submitted, the Planning Department finds that the proposed Final Site Plan and Design Review application meets the requirements of Article 7, section 7.27 of the Zoning Ordinance. Thus, the Planning Department recommends that the Planning Board **APPROVE** the Final Site Plan and Design Review for 325 S. Eton Street with the following conditions:

1. The applicant must work with the City to update their plans based on the new proposed design of Eton Road and adjust their plans if necessary.
2. The applicant must submit complete floor plans indicating the number of bedrooms for all units in order to verify the minimum lot area per unit requirement is met.
3. The applicant must submit a revised photometric plan indicating proper illuminance levels for the circulation area connecting the Phase 3 building to the parking structure.
4. The applicant must indicate a first floor height of 12 feet measured from the finished floor to finished ceiling in the submitted building plans;
5. The applicant must provide dimensions of the electronic transformers to verify they are properly screened; and
6. The applicant must comply with the requests of all City Departments.

12.0 **Sample Motion Language**

Motion to adopt the findings of the Planning Department in the report dated January 28, 2026 related to the approval criteria outlined in Article 7, Section 7.27 of the Zoning Ordinance and **APPROVE** the Final Site Plan & Design Review application for 325 S. Eton Street subject to the following conditions:

1. The applicant must work with the City to update their plans based on the new proposed design of Eton Road and adjust their plans if necessary.
2. The applicant must submit complete floor plans indicating the number of bedrooms for all units in order to verify the minimum lot area per unit requirement is met.
3. The applicant must submit a revised photometric plan indicating proper illuminance levels for the circulation area connecting the Phase 3 building to the parking structure.
4. The applicant must indicate a first floor height of 12 feet measured from the finished floor to finished ceiling in the submitted building plans;
5. The applicant must provide dimensions of the electronic transformers to verify they are properly screened; and
6. The applicant must comply with the requests of all City Departments.

OR

Motion to **POSTPONE** the Final Site Plan & Design Review application for 325 S. Eton Street for the following reasons:

1. The applicant must work with the City to update their plans based on the new proposed design of Eton Road and adjust their plans if necessary.
2. The applicant must submit complete floor plans indicating the number of bedrooms for all units in order to verify the minimum lot area per unit requirement is met.
3. The applicant must submit a revised photometric plan indicating proper illuminance levels for the circulation area connecting the Phase 3 building to the parking structure.
4. The applicant must indicate a first floor height of 12 feet measured from the finished floor to finished ceiling in the submitted building plans;
5. The applicant must provide dimensions of the electronic transformers to verify they are properly screened; and
6. The applicant must comply with the requests of all City Departments.

OR

Motion to **DENY** the Final Site Plan and Design Review for 325 S. Eton Street for the following reasons:

1. _____
2. _____
3. _____

**Zoning Compliance Summary Sheet
Final Site Plan & Design Review
325 S. Eton – Eton Street Lofts – Phase III**

Existing Site: District Lofts – Mixed Use Buildings

Zoning: MX, Mixed Use
Land Use: Loft building: residential/ retail

Existing Land Use and Zoning of Adjacent Properties:

	North	South	East	West
Existing Land Use	Big Rock Restaurant, Public Property	Commercial, Live-work, Residential	District Lofts Parking Lot, Railroad	Commercial, Multi-family Residential
Existing Zoning District	B-2B Neighborhood Business, PP Public Property	MX - Mixed Use	MX – Mixed Use, PP – Public Property	B-1 – Neighborhood Business, R-6 – Multiple-Family Residential
Overlay Zoning District	N/A	N/A	N/A	N/A

Land Area: Existing: Site area = 143,593 SF
Proposed: Same as existing

Minimum Lot Area Per Unit: Required: 1,500 SF per one bedroom
2,000 SF per two bedroom
2,500 SF per three or more bedroom

Proposed: District Loft Phase 3 Total = 76,500 SF
47 x 1 bedroom (70,500 SF)
3 x 2 bedroom (6,000 SF)
Building A (Villa) = 34,500 SF
7 x 1 bedroom (10,500 SF)
12 x 2 bedroom (24,000 SF)
Building B (Eton) = 32,500 SF
7 x 1 bedroom (10,500 SF)
11 x 2 bedroom (22,000)
143,500 SF Minimum Lot Area Required

143,593 SF Lot Area Provided

Minimum Floor Area Per Unit: Required: 400 SF (efficiency)
 600 SF (one bedroom)
 800 SF (two bedroom)
 1,000 SF (three or more bedroom)

Proposed: 47 x 1 bedroom from 598 SF to 992 SF (Phase 3)
 3 x 2 bedroom of 1,164 SF (Phase 3)

Maximum Total Floor Area Required: 100%, except that the maximum usable floor area may be increased up to 150% by providing 1 parking space for every 300 square feet over the maximum 100% FAR.

Proposed: 56,100 SF - Phase III Building
 47,275 SF - Building B (375 S. Eton)
 46,286 SF - Building A (2051 Villa)
11,051 SF - Big Rock
 160,712 SF Total

The applicant exceeds 100% of the Floor Area Ratio by 17,119 square feet (160,712 – 143,593), which requires an additional 57 parking spaces (1 per 300 SF) in the MX Zone. The applicant has 415 parking spaces total. After factoring in the required 57 parking spaces required for the FAR, the applicant has 20 parking spaces in excess of their total requirement, therefore satisfying the Ordinance.

Minimum Open Space: Required: N/A
 Proposed: N/A

Maximum Lot Coverage: Required: N/A
 Proposed: N/A

Front Setback: Required: 0 ft. minimum
 Proposed: 6.5 feet to building
 1.5 feet to balconies

Side Setbacks: Required: 0 ft. minimum
 0 ft. for residential stories with walls facing side lot lines which do not contain 20 foot minimum separation between adjacent buildings that contain windows.

Proposed: > 100 feet

Rear Setback: Required: 10 ft.
 Proposed: >100 ft.

Max. Bldg. Height: Permitted: 45' for flat roofs, 50' including mechanical & 4 stories
 Proposed: 49.5' including mechanical & 4 stories

Minimum Eave Height: Required: 18' along Eton Street
 Proposed: 44'

First Floor Ceiling: Required: 12 ft. minimum clearance - finished floor to finished ceiling
 Proposed: 12 feet

Front Entry: Required: Principal pedestrian entrance on frontage line, Planning Board may adjust.
 Proposed: three tenant spaces have principal pedestrian entrance on the frontage line Eton Street.

Parking:

Required:	Big Rock Chop House	148 spaces
	2051 Villa (Building A)	49 spaces
	375 Eton Street (Building B)	56 spaces
	<u>Phase III Building</u>	<u>72 spaces</u>
	General Requirements	326 spaces
	<u>17,119 SF over 100% FAR</u>	<u>57 spaces</u>
	Total	383 spaces
Proposed:	Existing Parking Deck	262 spaces
	Below ground spaces	102 spaces
	Surface lot facing RR	18 spaces
	<u>Big Rock surface</u>	<u>21 spaces</u>
	Total Provided On Site	403 spaces

The site plan submitted counted 12 on-street spaces along Villa for total of 415. City Commission must approve the inclusion of such spaces in order to be included in formal total.

Loading Area: Required: 20,001 – 50,000 ft² commercial – 2
 Must be located in rear open space per s. 4.23 LD-03
 Proposed: 2, located in rear open space (existing)

Streetscape: Required: 1 street tree per 40 feet of linear frontage
 1 street light every 40 feet
 Proposed: 4 Presidential Gold Ghinkos
 5 City Standard Rail District Lightpoles

Screening:

Parking: Required: Minimum 32" high masonry wall with stone cap

	Proposed:	Existing parking structure screened entirely by building, staggered planting beds and landscaping. Existing screenwalls along S. Eton in front of Big Rock and Villa adjacent to railroad.
<u>AC/Mech. units:</u>	Required:	Screening to compliment the building
	Proposed:	5.5' rooftop metal panels screening 3' rooftop HVAC units
<u>Elect. Transformer:</u>	Required:	Fully screened from public view
	Proposed:	30"-36" Hatfield Yew and 30"-36" Koreansice Viburnum to screen 2 ground transformers.
<u>Dumpster:</u>	Required:	6' high capped masonry wall with wooden gates
	Proposed:	Existing screening and gates on north and south ends of the parking structure.



MEMORANDUM

Engineering Department

DATE: January 23, 2026

TO: Nicholas J. Dupuis, Planning Director

FROM: Melissa A. Coatta, City Engineer

SUBJECT: **Preliminary Site Plan Review – 325 S. Eton (District Lofts Phase 3)**

The Engineering Department has completed a review of the Preliminary Site Plan dated November 18, 2025, with respect to conformance with City ordinances and engineering standards. A previous review was completed by the Department in 2021 and is attached. These comments from 2021 still remain, and the following are additional comments:

GENERAL:

- Coordination needs to occur with the City's upcoming project on S. Eton. The east side of the curb will be moved approximately 5'-6' to the west in front of this property. This will allow the sidewalk, street lights, street trees, and benches to be located in the right-of-way, and no easement will be required. Coordination also needs to occur for the driveway approach and with construction logistics with the S. Eton project and this project.

STORM WATER RUNOFF:

- For the proposed site development, the Engineering Department has made the determination that the proposed construction site is the "affected area" with respect to the City's Storm Water Runoff Ordinance for parcels greater than 0.50 acres (Chapter 114, Article III, Division 4, Sec 114-271 to 114-274) since construction is occurring on more than one parcel. Therefore, stormwater needs to meet the Oakland County Standard for Post-Construction Storm Water Runoff.

Soil Erosion and Sedimentation Control:

- Provide soil erosion and sedimentation control details. A soil erosion is not required, but must still comply with the requirements of Part 91 during any construction-related activity.

PERMIT FOR CONSTRUCTION:

City Permits:

- Water and Sewer Permit for taps and connections to the City's sewer and water.
- Special Treatment for any plantings, irrigation, etc., in the City's right of way.

DATE: September 3, 2021

TO: Brooks Cowen, Planner

FROM: James J. Surhigh, Consulting City Engineer

SUBJECT: Preliminary Site Plan Review – 325 S. Eton (District Lofts Ph. 3)

The Engineering Department has completed a review of the Preliminary Site Plan submittal, which includes a set of plans dated 6/30/21 and the Community Impact Study (CIS) dated 7/2/21, with respect to conformance with City ordinances and engineering standards, and has the following comments:

GENERAL:

- Confirm that the proposed changes to the condominium plans have been recorded.
- Elevations on design plans shall be based on the City's datum, not NAVD88 as indicated on the plans.

SEWER:

- An existing 18" combined sewer crosses the proposed building footprint and will need to be relocated. In the previous phase, a similar situation existed, and a portion of this sewer was replaced with a 21" sewer at a slightly flatter slope to maintain overall sewer capacity. The same approach will be required in the current phase, and the proposed 15" sewer should be revised to 21" accordingly.
- The existing easement must be vacated, and new 20-ft wide easement provided along the proposed alignment.
- There is an existing 10" sewer crossing the site (extended east from Yosemite) that is in close proximity to the proposed sewer and water main. It appears that this sewer serves the Big Rock restaurant. It may be possible to install a new manhole just east of the proposed water main to avoid the conflicts, and the portion of the sewer between the new manhole and the existing on Eton can be abandoned. Further investigation by the applicant would be required to confirm the location of the existing sanitary service.
- Plans indicate the existing 6" sanitary service will be re-used. Confirm that 6" size is appropriate for the proposed building use.
- Plans do not indicate how roof drainage will be handled. Note that City Ordinance prohibits downspouts from being directly connected to the sewer system.

STORM WATER RUNOFF:

- For the proposed site development, I have made the determination that the proposed construction site on Unit 2 is considered the "affected area" with respect to City's Storm Water Runoff Ordinance (Chapter 114, Article III, Division 4, Sec 114-271 to 114-274).

Therefore, the allowable runoff from the site for a 10-year storm event is 1.0 cfs/acre, or 0.2 cfs, whichever is greater.

- Provide calculations for required storm water detention, and show how the excess storm water will be detained and released at the allowable discharge rate.

WATER SYSTEM:

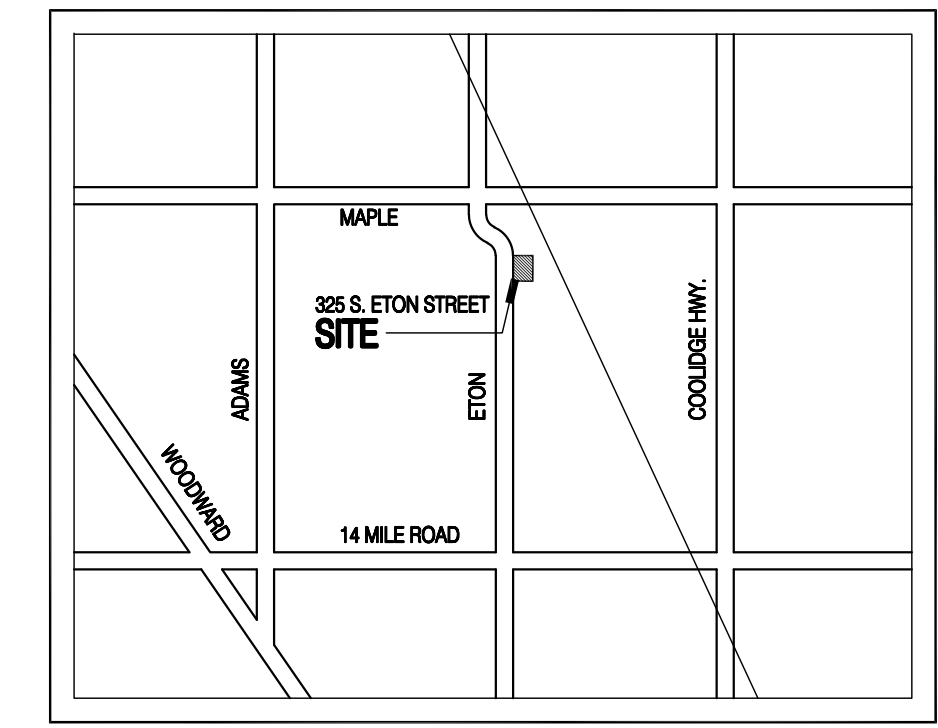
- Proposed water main is shown with a new tap to the existing 12" water main on Eton. The proposed water main must be located at least 10 feet from any sewer. The proposed water main must be shown in profile.
- The existing water main easement must be vacated, and a new 12-ft wide easement provided along the new alignment.
- The existing tap to the 12" water main on Eton must be properly abandoned.
- Show the proposed water service for domestic supply and fire suppression on the plans.

PERMITS FOR CONSTRUCTION:

- EGLE Permit for Water System Construction
- Right-of-Way Permit for any excavations or work in Eton St. right-of-way
- Street Obstruction Permit for any temporary traffic interference on Eton, or for pedestrian traffic interference on public sidewalks.
- Sidewalk/Drive Approach Permit for any pavement installed in the public right-of-way.

DISTRICT LOFTS - PHASE 3

325 S. Eton Street
Birmingham, MI 48009



Location Map
Not to Scale

Owner:
Eton Office Properties, LLC
2051 Villa, Suite 106
Birmingham, MI 48009
T: 248.258.6663
Contact: John Kelly

Owner's Representative / CM:
2051 Villa, Suite 106
Birmingham, MI 48009
T: 248.258.6663
Contact: John Kelly

Architect:
Saroki Architecture
430 N. Old Woodward Avenue, Suite 300
Birmingham, MI 48009
T: 248.258.5707
Contact: Victor Saroki, FAIA

Civil Engineer:
Nowak & Fraus Engineers
46777 Woodward Avenue
Pontiac, Michigan 48342
T: 248.332.7931
Contact: Patrick J. Williams, PE

Landscape Architect:
Michael J. Dul & Associates Inc.
212 Daines
Birmingham, Michigan 48009
T: 248.644.3410
Contact: Patrick M. Funke, PLA, CNSP

Zoning Information:
Zoning District: B-2B, MX
(The proposed District Lofts - Phase 3 building lies entirely within the MX Zoning District)

Zoning of Adjacent Properties:
North: PP
West: R6, B1 (Directly west of proposed Phase 3 building)
South: MX
East: MX, PP

Site Area: 3.296 Acres (143,593 S.F.)

Building Area:
Lower Level (Storage): 2,977 S.F. (existing basement to be reused)
First Level: 14,025 S.F.
Second Level: 14,025 S.F.
Third Level: 14,025 S.F.
Fourth Level: 14,025 S.F.
Total Building Area: 59,077 S.F.

Loading: One (1) 10' x 40' Required, One Provided

Landscape Requirements: Refer to Landscape Drawings

Glazing Calculations:	Required:	Proposed:
North Elevation:		
Ground Level (between 1' & 8')	Not less than 30%	66.96% OK
	541 SF (glazing) / 808 SF (facade area between 1' & 8') = 541 SF / 808 SF = 0.6696 = 66.96%	
Upper Levels	50% Maximum	34.99% OK
	1,350 SF (glazing) / 3,858 SF (facade above first level) = 1,350 SF / 3,858 SF = 0.3499 = 34.99%	
West Elevation (Eton Street):		
Ground Level (between 1' & 8')	Not less than 70%	84.22% OK
	865 SF (glazing) / 1,027 SF (facade area between 1' & 8') = 865 SF / 1,027 SF = 0.8422 = 84.22%	
Upper Levels	50% Maximum	48.37% OK
	2,376 SF (glazing) / 4,912 SF (facade above first level) = 2,376 SF / 4,912 SF = 0.4837 = 48.37%	
South Elevation:		
Ground Level (between 1' & 8')	Not less than 30%	59.53% OK
	481 SF (glazing) / 808 SF (facade area between 1' & 8') = 481 SF / 808 SF = 0.5953 = 59.53%	
Upper Levels	50% Maximum	33.90% OK
	1,308 SF (glazing) / 3,858 SF (facade above first level) = 1,308 SF / 3,858 SF = 0.3390 = 33.90%	
East Elevation:		
Ground Level (between 1' & 8')	Not less than 30%	48.49% OK
	498 SF (glazing) / 1,027 SF (facade area between 1' & 8') = 498 SF / 1,027 SF = 0.4849 = 48.49%	
Upper Levels	50% Maximum	33.96% OK
	1,668 SF (glazing) / 4,912 SF (facade above first level) = 1,668 SF / 4,912 SF = 0.3396 = 33.96%	

2.40 MX (Mixed Use) District Development Standards									
TABLE 2.40.1 - Lot Area (see Figure 2.40.1)	Figure 2.40.1 - Lot Area								
<table border="1"> <tr> <td>Minimum Lot Area</td> <td> <ul style="list-style-type: none"> 1,500 sq ft (one bedroom) 2,000 sq ft (two bedroom) 2,500 sq ft (three or more bedroom) </td> </tr> <tr> <td>Minimum Open Space</td> <td>NA</td> </tr> <tr> <td>Maximum Lot Coverage</td> <td>NA</td> </tr> </table>	Minimum Lot Area	<ul style="list-style-type: none"> 1,500 sq ft (one bedroom) 2,000 sq ft (two bedroom) 2,500 sq ft (three or more bedroom) 	Minimum Open Space	NA	Maximum Lot Coverage	NA			
Minimum Lot Area	<ul style="list-style-type: none"> 1,500 sq ft (one bedroom) 2,000 sq ft (two bedroom) 2,500 sq ft (three or more bedroom) 								
Minimum Open Space	NA								
Maximum Lot Coverage	NA								
TABLE 2.40.2 - Setbacks (see Figure 2.40.2)	Figure 2.40.2 - Setbacks								
<table border="1"> <tr> <td>Minimum Front Yard Setback</td> <td>0 feet</td> </tr> <tr> <td>Minimum Rear Yard Setback</td> <td> <ul style="list-style-type: none"> 10 feet when the rear open space abuts a P, B1, B2, B2B, B2C, B3, B4, O1, O2, or MX Zoning District 20 feet when adjacent to a residential zoning district </td> </tr> <tr> <td>Minimum Combined Front and Rear Setback</td> <td>NA</td> </tr> <tr> <td>Minimum Side Yard Setback</td> <td> <ul style="list-style-type: none"> 0 feet for commercial, office or parking stories 0 feet for residential stories with walls facing side lot lines which do not contain 20 foot minimum separation between adjacent buildings with walls that contain windows </td> </tr> </table>	Minimum Front Yard Setback	0 feet	Minimum Rear Yard Setback	<ul style="list-style-type: none"> 10 feet when the rear open space abuts a P, B1, B2, B2B, B2C, B3, B4, O1, O2, or MX Zoning District 20 feet when adjacent to a residential zoning district 	Minimum Combined Front and Rear Setback	NA	Minimum Side Yard Setback	<ul style="list-style-type: none"> 0 feet for commercial, office or parking stories 0 feet for residential stories with walls facing side lot lines which do not contain 20 foot minimum separation between adjacent buildings with walls that contain windows 	
Minimum Front Yard Setback	0 feet								
Minimum Rear Yard Setback	<ul style="list-style-type: none"> 10 feet when the rear open space abuts a P, B1, B2, B2B, B2C, B3, B4, O1, O2, or MX Zoning District 20 feet when adjacent to a residential zoning district 								
Minimum Combined Front and Rear Setback	NA								
Minimum Side Yard Setback	<ul style="list-style-type: none"> 0 feet for commercial, office or parking stories 0 feet for residential stories with walls facing side lot lines which do not contain 20 foot minimum separation between adjacent buildings with walls that contain windows 								
TABLE 2.40.3 - Floor Area (see Figure 2.40.3)	Figure 2.40.3 - Floor Area								
<table border="1"> <tr> <td>Minimum Floor Area Per Unit</td> <td> <ul style="list-style-type: none"> 400 sq ft (efficiency) 600 sq ft (one bedroom) 800 sq ft (two bedroom) 1,000 sq ft (three or more bedroom) </td> </tr> <tr> <td>Maximum Total Floor Area</td> <td> <ul style="list-style-type: none"> 100% 6,000 sq ft for commercial, office, and service uses </td> </tr> </table>	Minimum Floor Area Per Unit	<ul style="list-style-type: none"> 400 sq ft (efficiency) 600 sq ft (one bedroom) 800 sq ft (two bedroom) 1,000 sq ft (three or more bedroom) 	Maximum Total Floor Area	<ul style="list-style-type: none"> 100% 6,000 sq ft for commercial, office, and service uses 					
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Maximum Total Floor Area	<ul style="list-style-type: none"> 100% 6,000 sq ft for commercial, office, and service uses 								
TABLE 2.40.4 - Maximum Building Height (see Figure 2.40.4)	Figure 2.40.4 - Building Height								
45 feet for flat roofs 40 feet maximum eave line for sloped roofs 50 feet maximum height to the peak or ridge for sloped roofs as measured to average grade 4 stories Minimum Eave Height 18 feet for one-story building on Eton Road									

4.90 WN-01
This Window Standards section applies to the following districts:
[B, B1, B2, B2B, B2C, B3, B4, O1, O2, MX]
The following window standards apply:
A. **Storefront Windows:** Ground floor facades shall be designed with storefronts that have windows, doorways and signage, which are integrally designed. The following standards apply:
1. No less than 70% of a storefront/ground floor facade between 1 and 8 feet above grade shall be clear glazing.
2. Only Clear glazing is permitted on storefront facades at the first floor. Lightly tinted glazing above the first floor may be permitted. Mirrored glass is prohibited.
3. Required window areas shall be either pedestrian entrances, windows that allow views into retail space, working areas or lobbies. Display windows set into the wall may be approved by the Planning Board.
4. Windows shall not be blocked with opaque materials or the back of shelving units or signs.
5. The bottom of the window shall be no more than 3 feet above the adjacent exterior grade.
B. **Ground floor building elevations:** Building elevations on the ground floor that do not face a frontage line but contain a public entrance shall be no less than 30% clear glazing between 1 and 8 feet above grade.
C. Blank walls of longer than 20 feet on the ground floor facade shall not face a plaza, park, parking area or Public Street.
D. **Upper Story Windows:** Openings above the first story shall be a maximum of 50% of the total facade area. Windows shall be vertical in proportion.
E. To allow flexibility in design, these standards may be modified by a majority vote of those appointed and serving on the appropriate reviewing body including the Planning Board, Design Review Board, and/or Historic District Commission for architectural design considerations provided that the following conditions are met:
a. The subject property must be in a zoning district that allows mixed uses;
b. The scale, color, design and quality of materials must be consistent with the building and site on which it is located;
c. The proposed development must not adversely affect other uses and buildings in the neighborhood;
d. Glazing above the first story shall not exceed a maximum of 70% of the facade area;
e. Windows shall be vertical in proportion.
(Ord. No. 2244, 07/24/2017)
Effective on: 8/20/2017

Drawing Index:	
● DRAWING ISSUED	
○ DRAWING ISSUED FOR REFERENCE ONLY	
□ DRAWING NOT ISSUED	
2025-11-18: FINAL SITE PLAN APPROVAL	
GENERAL	
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CIVIL	
SP-1 BOUNDARY / TOPOGRAPHIC SURVEY	●
SP-2 OVERALL SITE PLAN	●
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L1.1 LANDSCAPE PLAN RENDERING	●
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A150 ROOF PLAN	●
A200 NORTH ELEVATION	●
A210 WEST (ETON STREET) ELEVATION	●
A220 SOUTH ELEVATION	●
A230 EAST ELEVATION	●
LIGHTING	
PHOTOMETRIC SITE PLAN	●

Approvals:



SAROKI
ARCHITECTURE

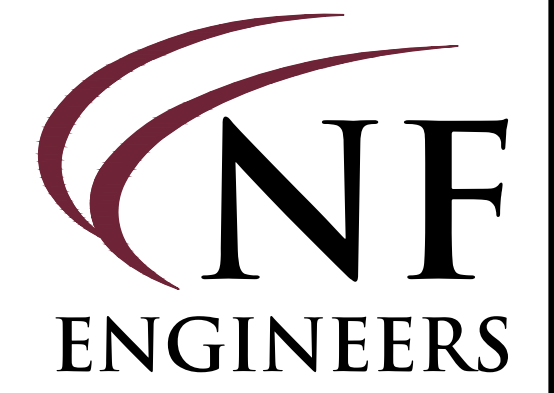
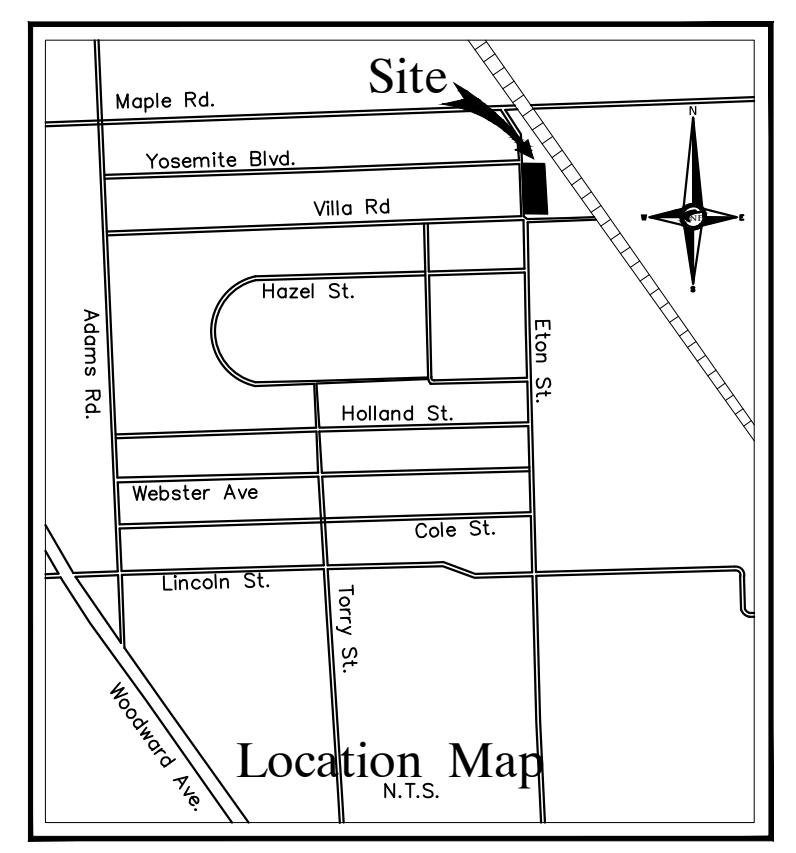
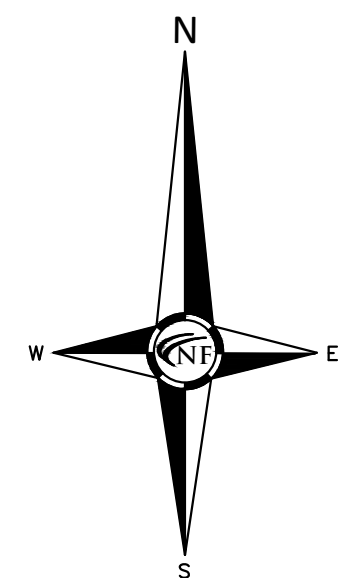
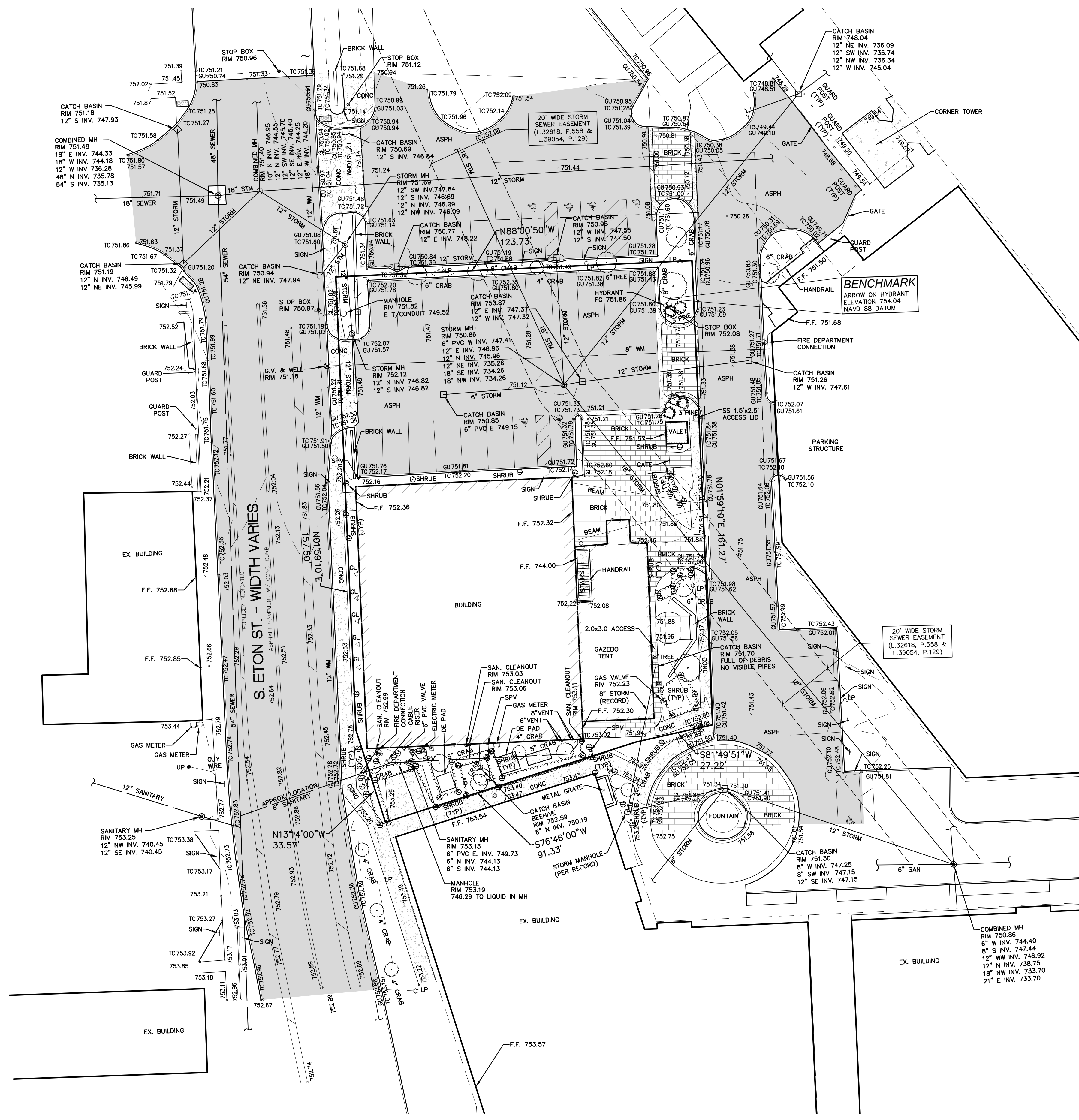
430 N. OLD WOODWARD
BIRMINGHAM, MI 48009

P. 248.258.5707
F. 248.258.5515

SarokiArchitecture.com

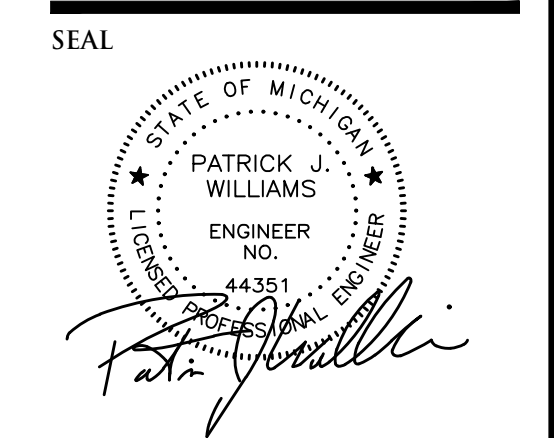
Project:
The District Lofts
Phase 3
Eton Street
Birmingham, Michigan 48009
Date: 2025-11-18
Issued For: FINAL SITE PLAN APPROVAL

Sheet No.:
G000
COVER SHEET & DRAWING INDEX



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM



PROJECT
District Lofts

CLIENT
Kelly Building &
Development
2051 Villa
Suite 106
Birmingham, MI 48009

Contact: John Kelly
Ph: (248) 258-6663

PROJECT LOCATION
Part of the Northeast 1/4
of Section 31
T. 2 North, R. 11 East
City of Birmingham,
Oakland County, Michigan

SHEET
Boundary / Topographic
Survey



DATE ISSUED/REVISED
06-30-21 PRELIMINARY SITE PLAN APPROVAL
12-10-21 REVISED PER CITY
11-18-25 FINAL SITE PLAN APPROVAL

DRAWN BY:
A. Eizember
DESIGNED BY:

APPROVED BY:
P. Williams
DATE:
June 30, 2021

SCALE: 1" = 20'
20 10 0 10 20 30

NFE JOB NO. SHEET NO.
E103-02 SP-1

LEGAL DESCRIPTION

UNIT 2, ETON CONDOMINIUM PROPERTIES, ACCORDING TO THE MASTER DEED RECORDED IN LIBER 37054, PAGES 533 THROUGH 583, BOTH INCLUSIVE, AND FIRST AMENDMENT TO THE MASTER DEED RECORDED IN LIBER 38725, PAGES 110 THROUGH 112, BOTH INCLUSIVE, AND SECOND AMENDMENT TO THE MASTER DEED RECORDED IN LIBER 38725, PAGES 110 THROUGH 112, BOTH INCLUSIVE, OAKLAND COUNTY RECORDS, AS AMENDED, AND DESIGNATED AS OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1883, TOGETHER WITH RIGHTS IN GENERAL COMMON ELEMENTS AND LIMITED COMMON ELEMENTS AS SET FORTH IN THE ABOVE-DESCRIBED MASTER DEED, AS AMENDED, AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED.

FLOOD HAZARD NOTE

THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. 26125C0537F BEARING AN EFFECTIVE DATE OF 09-29-2006.

COVID-19 PANDEMIC CONDITION

DUE TO THE UNPRECEDENTED COVID-19 PANDEMIC CONDITION AND RESTRICTIONS THE STANDARD DATA WHICH IS OBTAINED FROM MISS DIG / CALL 811 HAS BEEN RESTRICTED TO CRITICAL INFRASTRUCTURE ONLY. NFE WILL MAKE EVERY EFFORT TO OBTAIN CURRENT REFERENCE DATA FROM THE GOVERNING AGENCIES; HOWEVER, THIS DATA MAY BE PARTIAL OR INCOMPLETE. NFE WILL ISSUE THIS SURVEY WITH THE BEST AVAILABLE INFORMATION FROM OUR FIELD SURVEY AND OTHER AVAILABLE REFERENCE DATA. NFE WILL NOT BE RESPONSIBLE FOR INCOMPLETE OR PARTIAL DATA PROVIDED BY THIRD PARTY FACILITY OWNERS.

ALL SURVEYS BEING UTILIZED FOR DESIGN PURPOSES BY OTHERS; IT WILL BE THE CLIENT'S OBLIGATION TO UPDATE THE UTILITY INFORMATION AS IT BECOMES AVAILABLE. NFE IS NOT RESPONSIBLE FOR BURIED UTILITIES FOR WHICH PLANS WERE NOT FURNISHED OR CANNOT BE OBSERVED IN THE FIELD.

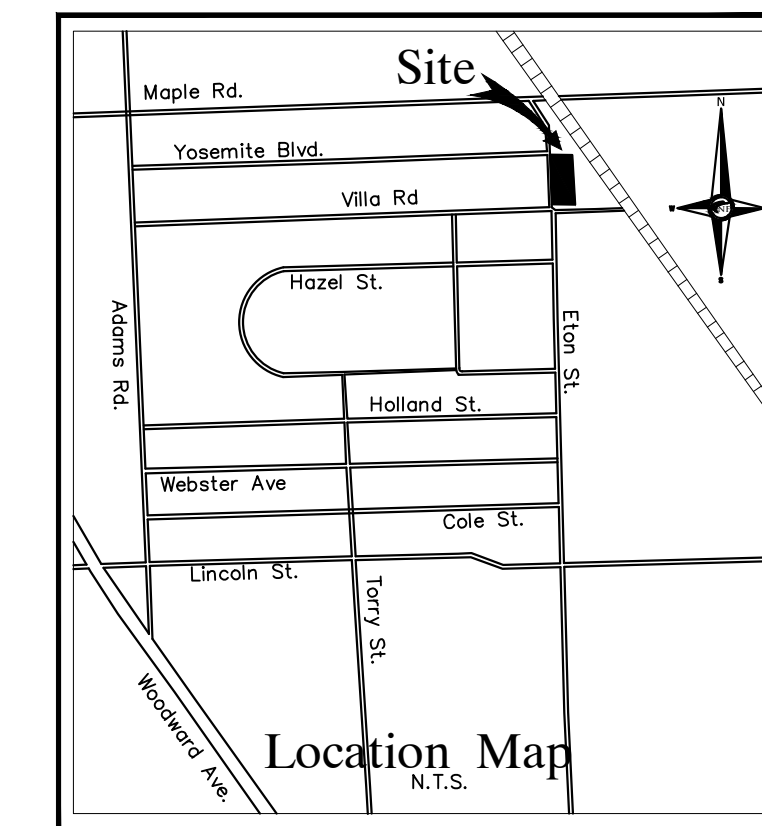
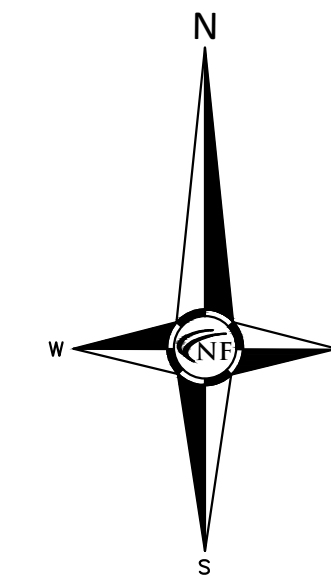
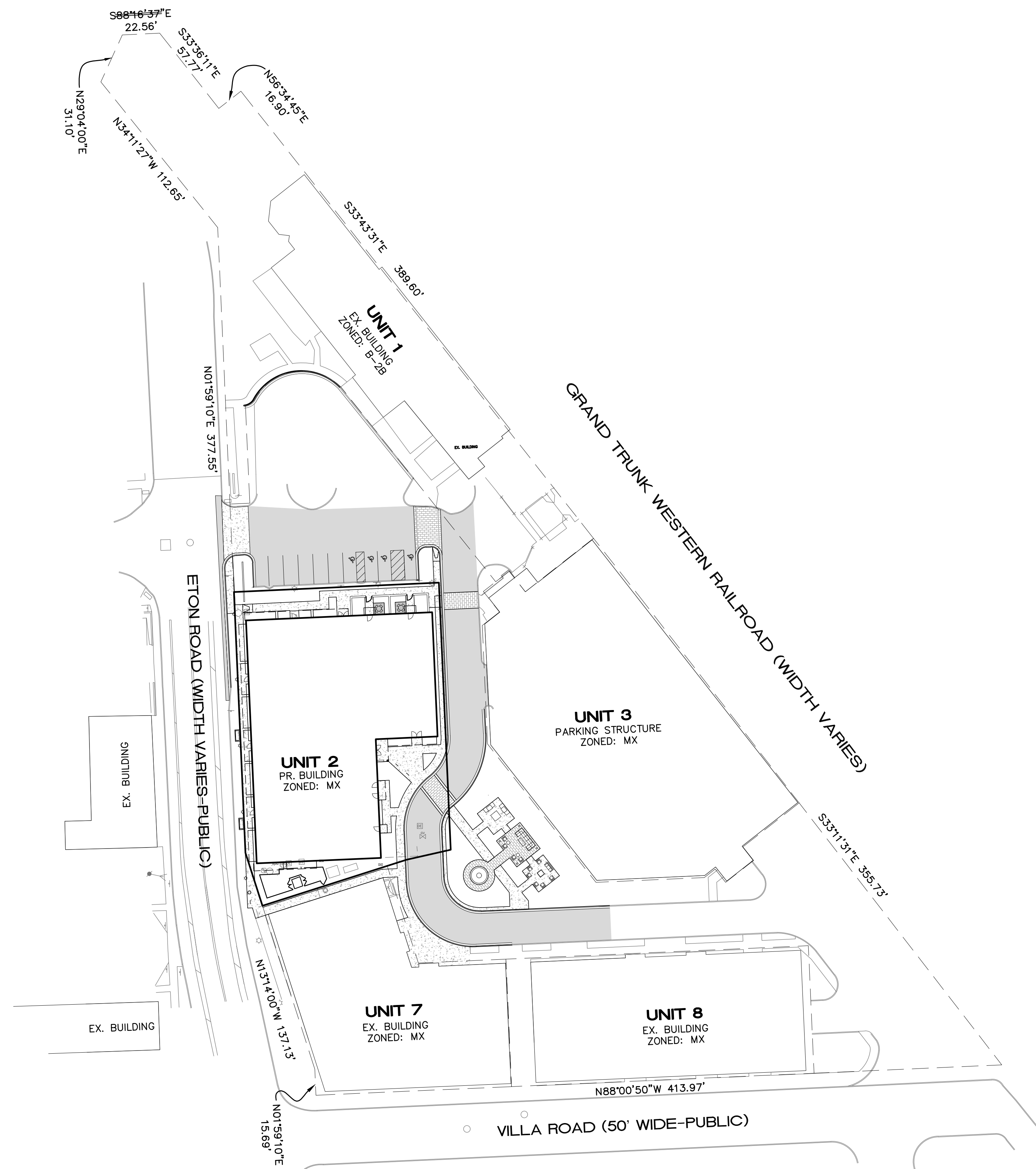
MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A00310088, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON 11/17/2020. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISHED PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

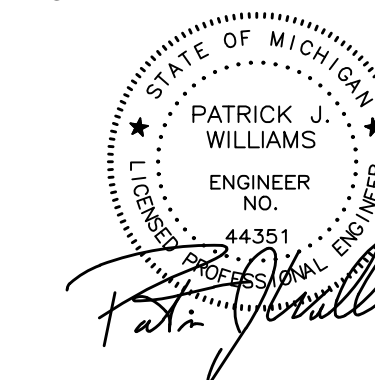
TOPOGRAPHIC SURVEY NOTES

ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND	
	MANHOLE
	HYDRANT
	MANHOLE
	UTILITY POLE
	GUY POLE
	GUY WIRE
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R.Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES



SEAL



PROJECT
 District Lofts

CLIENT
 Kelly Building &
 Development
 2051 Villa
 Suite 106
 Birmingham, MI 48009

Contact: John Kelly
 Ph: (248) 258-6663

PROJECT LOCATION
 Part of the Northeast 1/4
 of Section 31
 T. 2 North, R. 11 East
 City of Birmingham,
 Oakland County, Michigan

SHEET
 Overall Site Plan

COVID-19 PANDEMIC CONDITION

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PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
	C.O.		OVERHEAD LINES
	MANHOLE		LIGHT POLE
	HYDRANT		SIGN
	GATE VALVE		EXISTING GAS MAIN
	INLET		PR. SANITARY SEWER
	C.B.		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
			PR. R. Y. CATCH BASIN
			PROPOSED LIGHT POLE

DATE	ISSUED/REVISED
06-30-21	PRELIMINARY SITE PLAN APPROVAL
12-10-21	REVISED PER CITY
11-18-25	FINAL SITE PLAN APPROVAL

DRAWN BY:
 A. Eizember

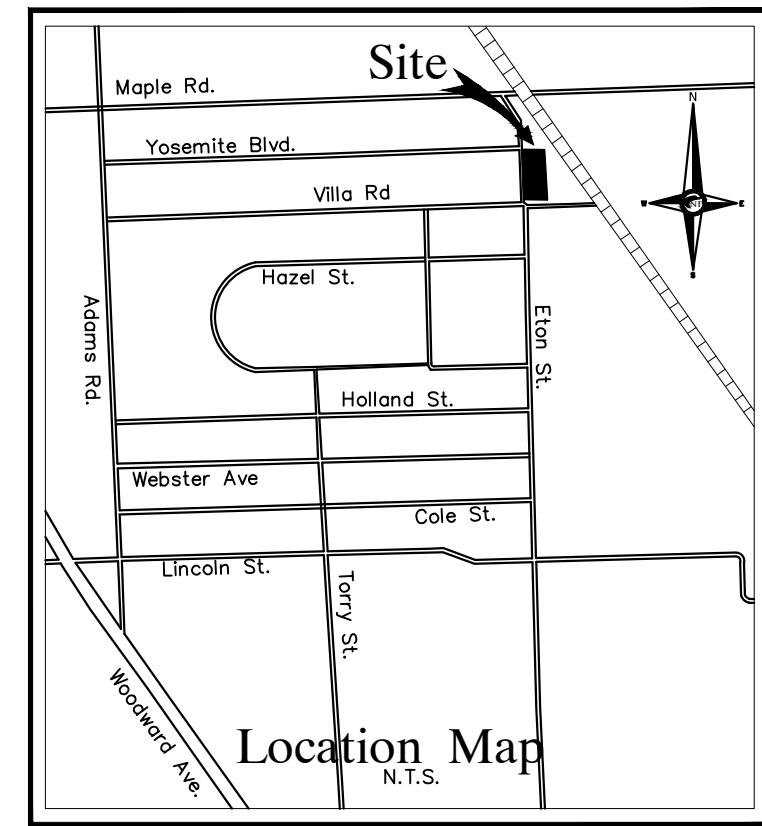
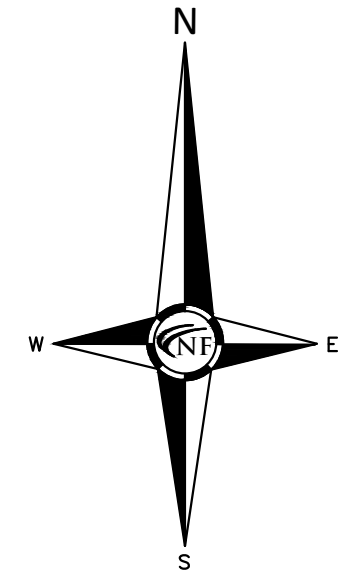
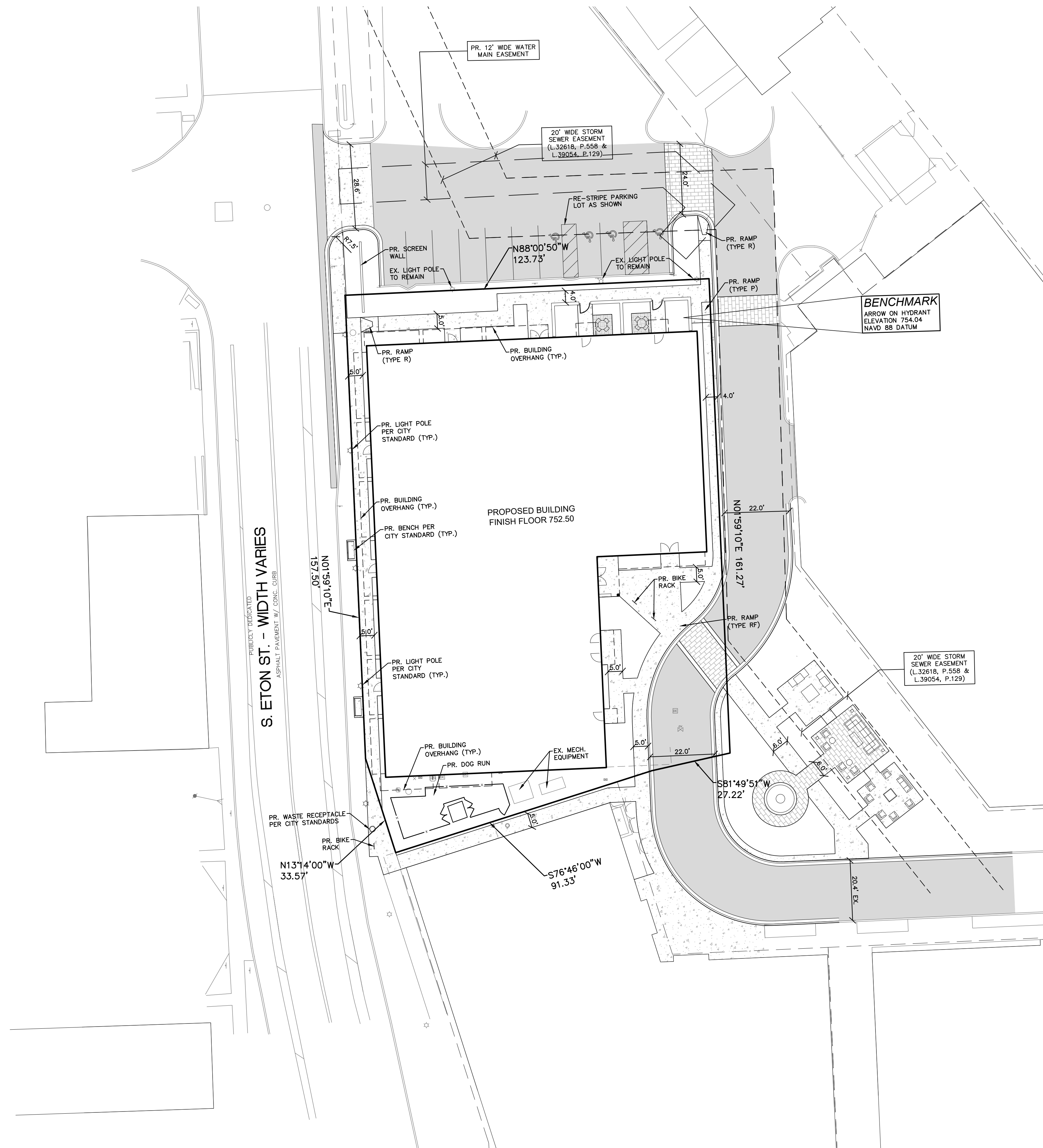
DESIGNED BY:
 A. Eizember

APPROVED BY:
 P. Williams

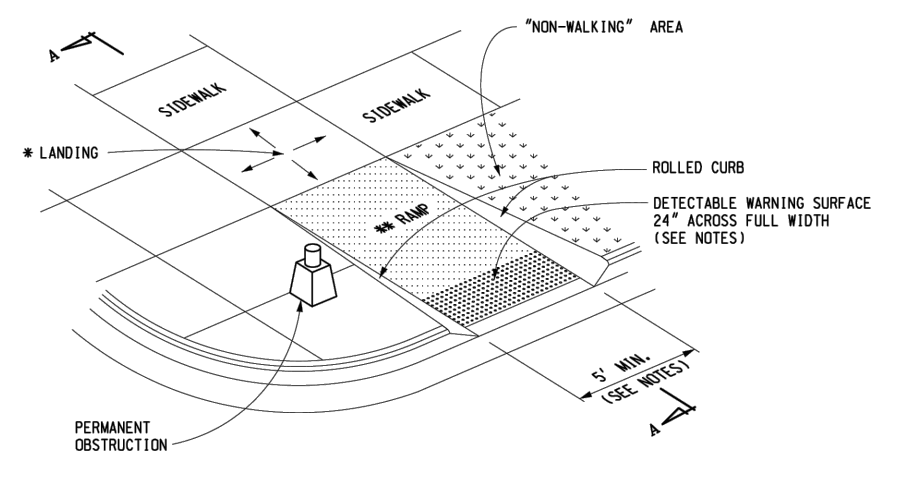
DATE:
 June 30, 2021

SCALE: 1" = 40'

NFE JOB NO. SHEET NO.
E103-02 SP-2

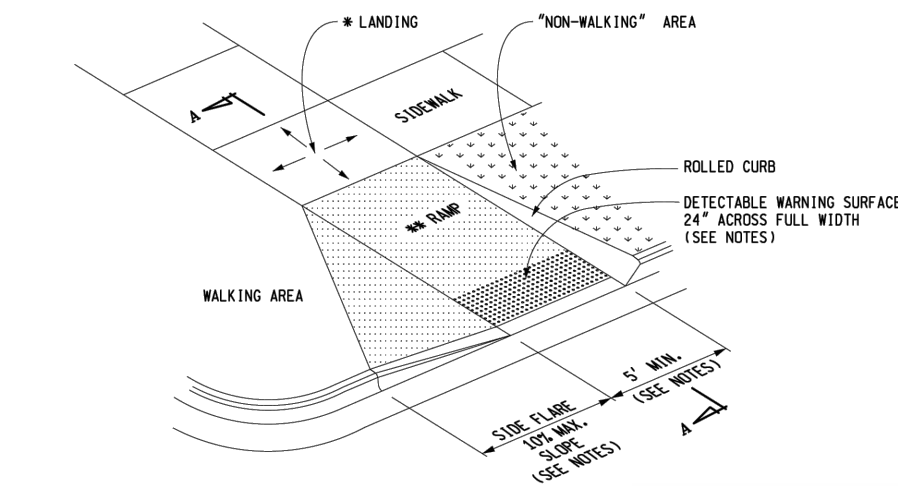


• MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
 • MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8-12 MAXIMUM). SEE NOTES.



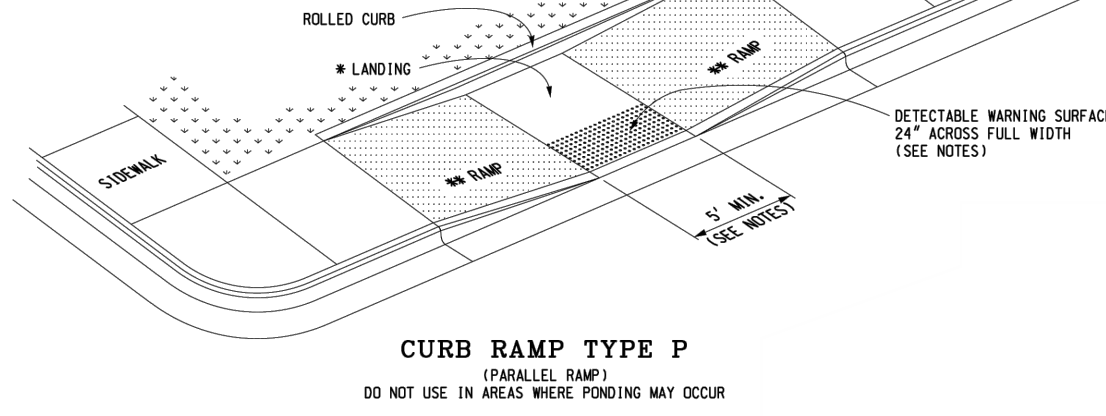
CURB RAMP TYPE R (ROLLED SIDES)

• MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
 • MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8-12 MAXIMUM). SEE NOTES.



CURB RAMP TYPE RF (ROLLED / FLARED SIDES)

• MAXIMUM LANDING SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. LANDING MINIMUM DIMENSIONS 5' x 5'. SEE NOTES.
 • MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8-12 MAXIMUM). SEE NOTES.



CURB RAMP TYPE P (PARALLEL RAMP) DO NOT USE IN AREAS WHERE FORKING MAY OCCUR

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
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	GUY WIRE		EXISTING BURIED CABLES
	C.O.		OVERHEAD LINES
	MANHOLE		LIGHT POLE
	HYDRANT		SIGN
	INLET		EXISTING GAS MAIN
	C.B.		PR. SANITARY SEWER
	MANHOLE		PR. WATER MAIN
	MANHOLE		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		

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ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257
 WWW.NOWAKFRAUS.COM

SEAL

Patrick J. Williams

PROJECT
 District Lofts

CLIENT
 Kelly Building & Development
 2051 Villa
 Suite 106
 Birmingham, MI 48009

Contact: John Kelly
 Ph: (248) 258-6663

PROJECT LOCATION
 Part of the Northeast 1/4 of Section 31
 T. 2 North, R. 11 East
 City of Birmingham, Oakland County, Michigan

SHEET
 Dimensional Site Plan

Know what's below
 Call before you dig.

DATE ISSUED/REVISED

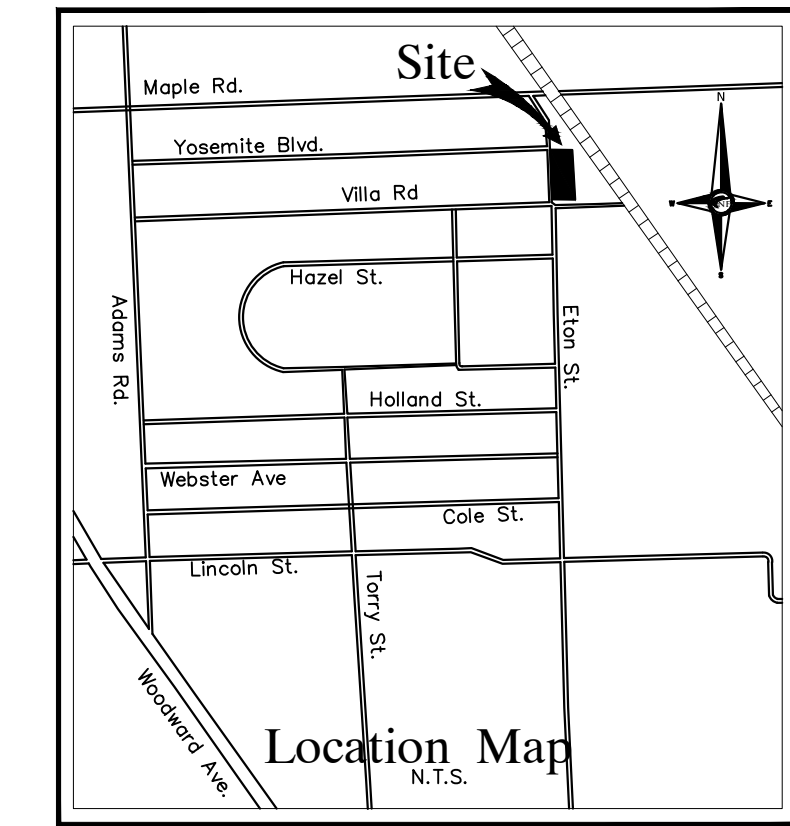
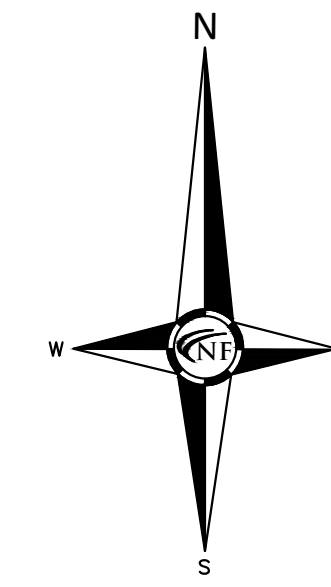
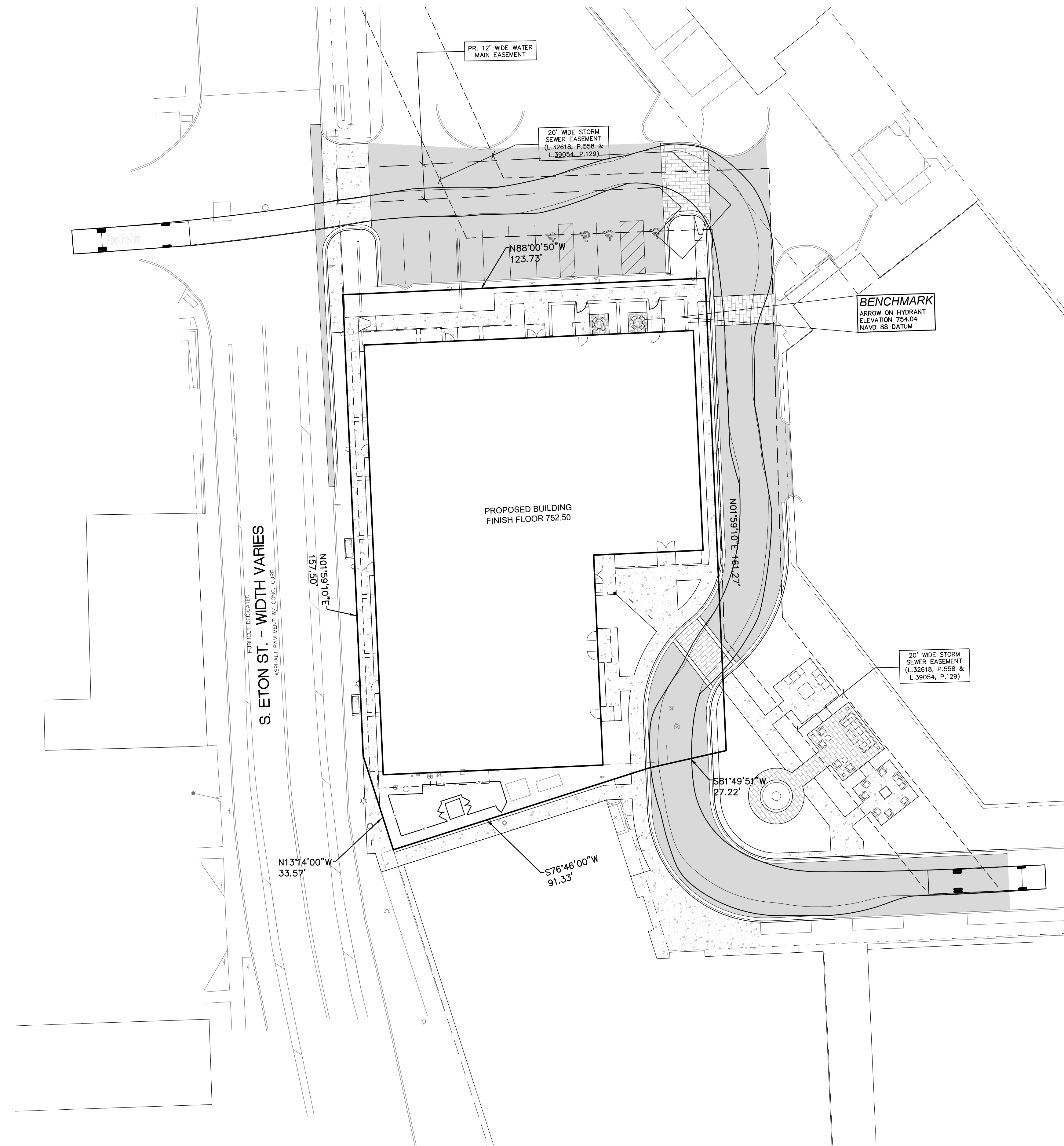
06-30-21	PRELIMINARY SITE PLAN APPROVAL
12-10-21	REVISED PER CITY
11-18-25	FINAL SITE PLAN APPROVAL

DRAWN BY:
 A. Eizember
 DESIGNED BY:
 A. Eizember
 APPROVED BY:
 P. Williams

DATE:
 June 30, 2021

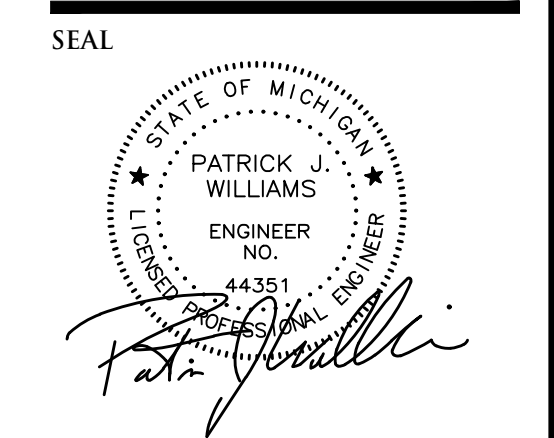
SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
E103-02 SP-3



NF ENGINEERS
 CIVIL ENGINEERS
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 LAND PLANNERS

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PROJECT
 District Lofts

CLIENT
 Kelly Building &
 Development
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 Suite 106
 Birmingham, MI 48009

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PROJECT LOCATION
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 of Section 31
 T. 2 North, R. 11 East
 City of Birmingham,
 Oakland County, Michigan

SHEET
 Fire Truck Maneuvering
 Plan



DATE	ISSUED/REVISED
06-30-21	PRELIMINARY SITE PLAN APPROVAL
12-10-21	REVISED PER CITY
11-18-25	FINAL SITE PLAN APPROVAL

DRAWN BY:
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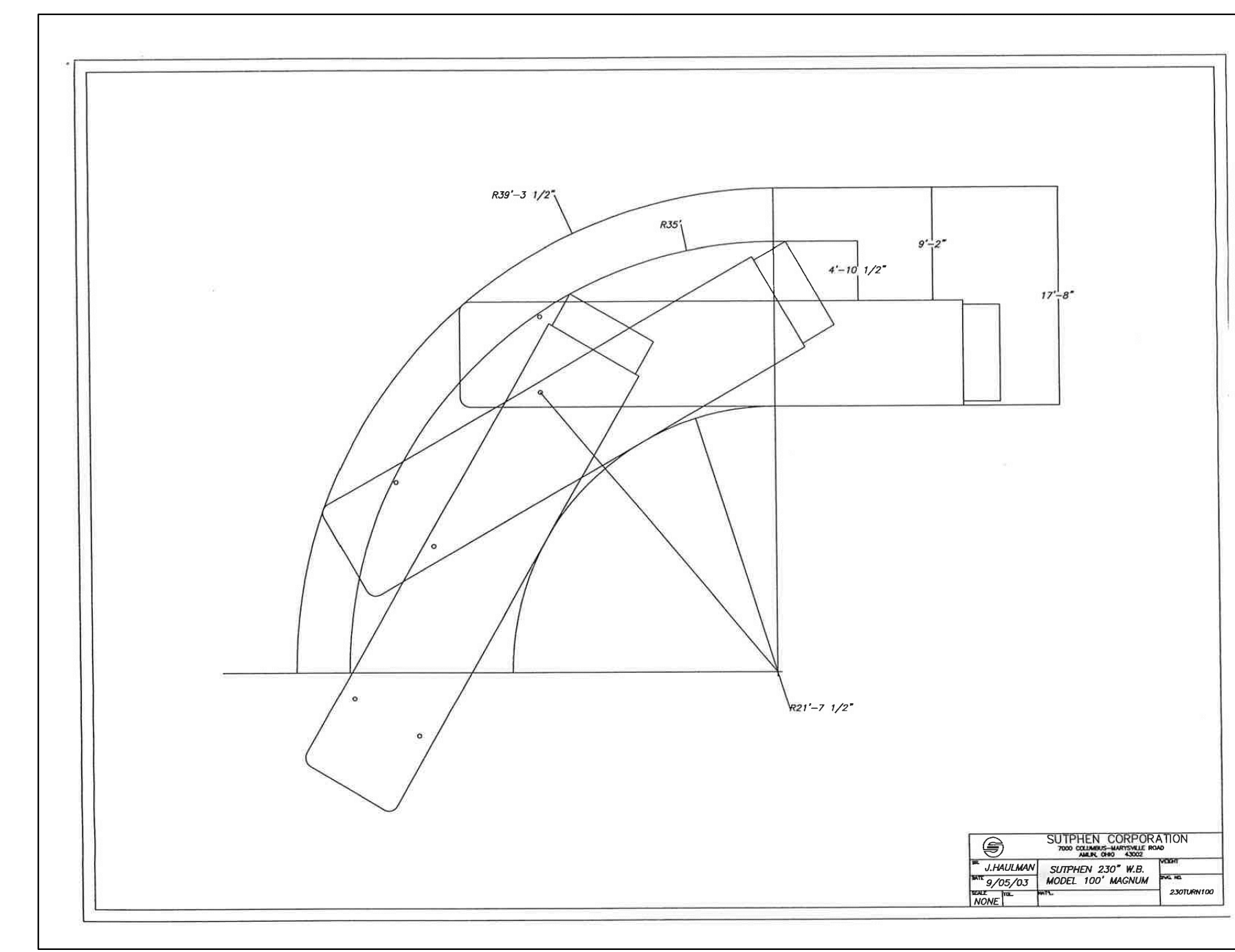
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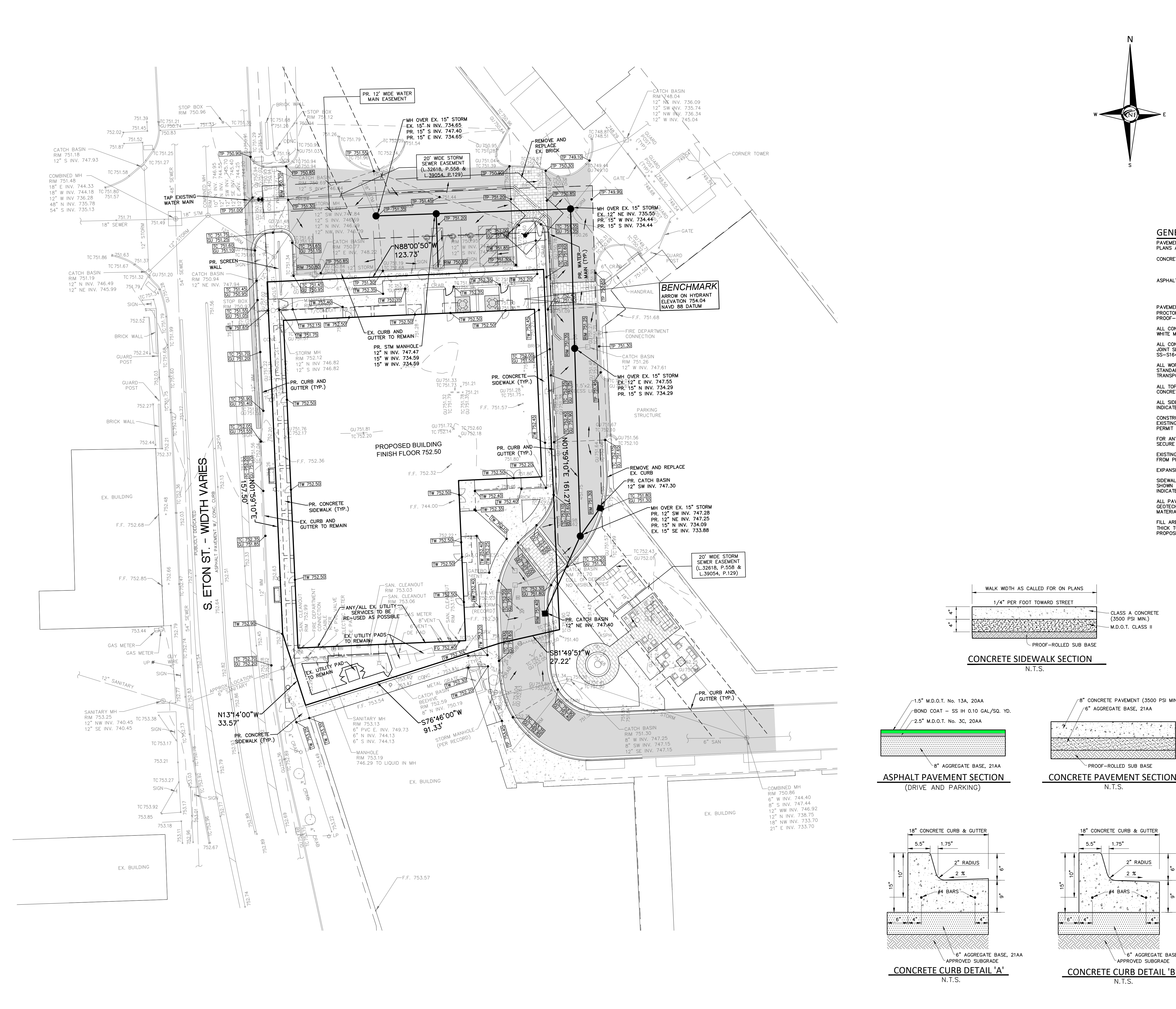
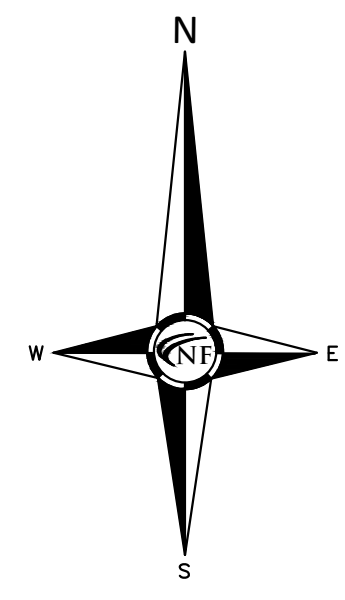
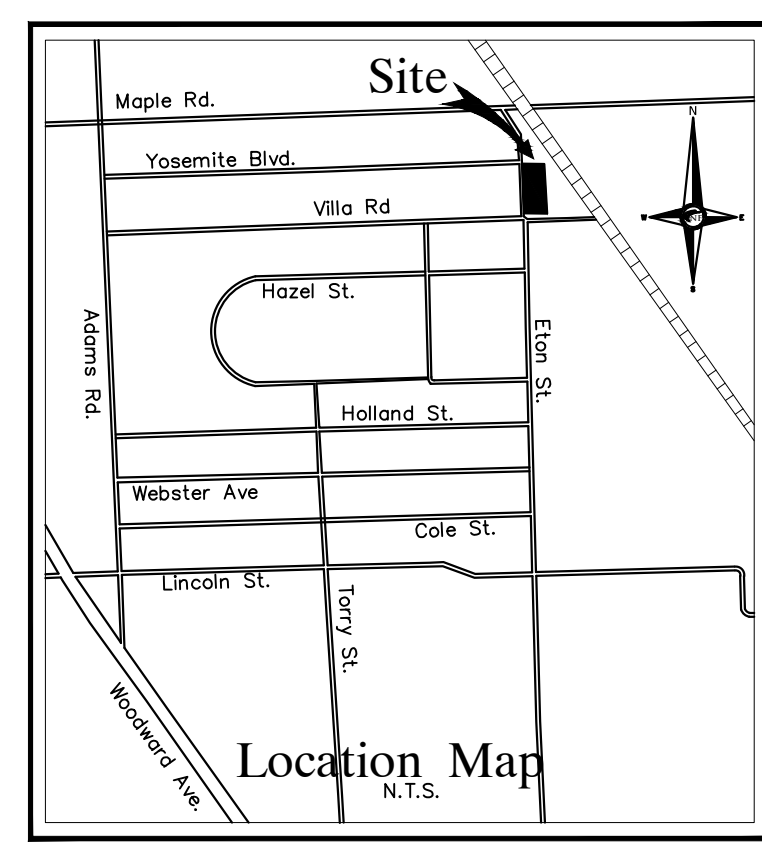
DATE:
 June 30, 2021

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
E103-02 SP-3a



SUTPHREN CORPORATION	
DATE	DESCRIPTION
06/30/21	SOUTHERN 2107 M.B.
07/20/21	MODEL TOP MANHOLE
08/02/21	DATE



GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100L, 20AA; SURFACE COURSE - MDOT BITUMINOUS MIXTURE NO. 1100T, 20AA; ASPHALT CEMENT PENETRATION GRADE 85-100, BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD; MAXIMUM 2 INCH LIFT.

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED BY THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

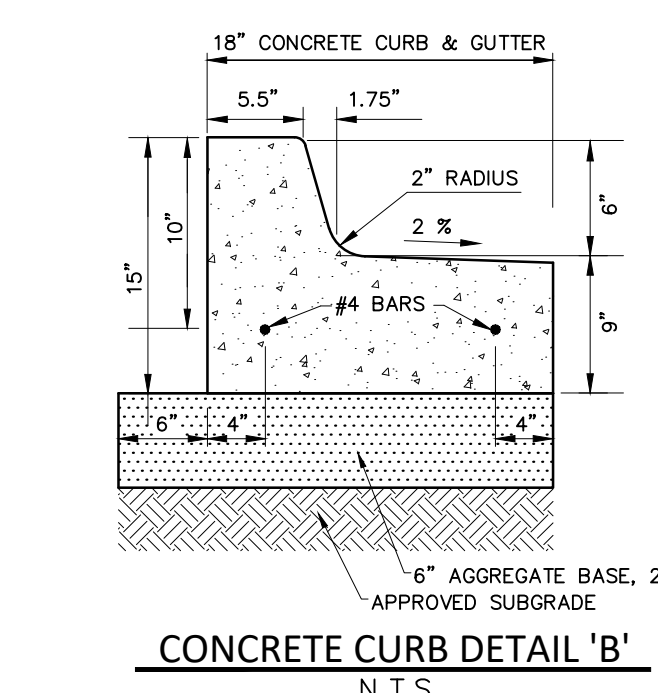
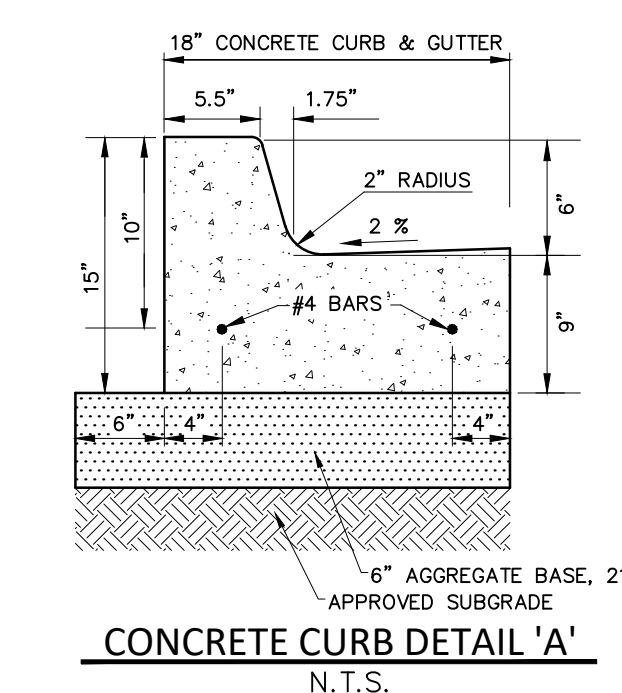
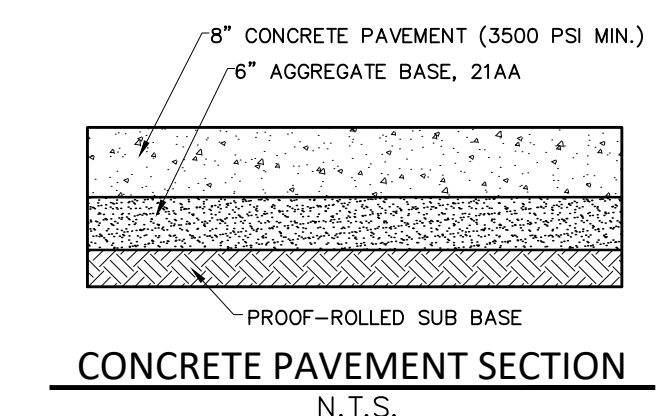
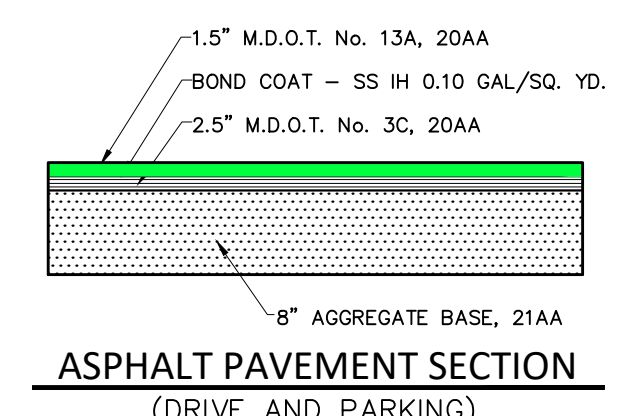
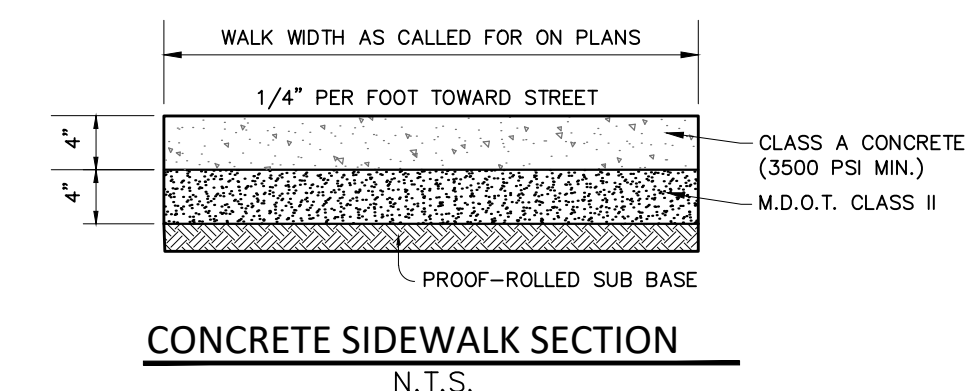
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

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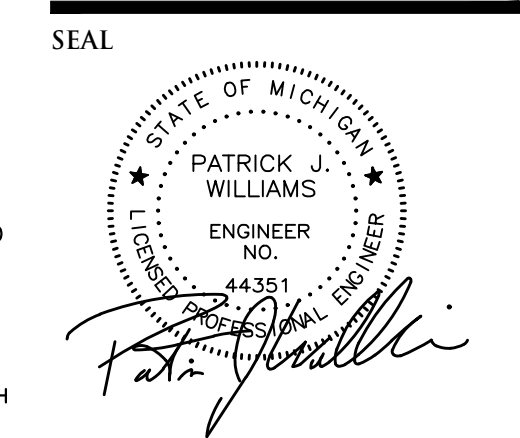


PAVING LEGEND

[Pattern]	PROPOSED CONCRETE PAVEMENT
[Pattern]	PROPOSED ASPHALT PAVEMENT

LEGEND

[Symbol]	MANHOLE	EXISTING SANITARY SEWER
[Symbol]	HYDRANT	SAN. CLEAN OUT
[Symbol]	MANHOLE	EXISTING WATERMAIN
[Symbol]	MANHOLE CATCH BASIN	EXISTING STORM SEWER
[Symbol]	UTILITY POLE	EX. R. Y. CATCH BASIN
[Symbol]	GUY POLE	EXISTING BURIED CABLES
[Symbol]	GUY WIRE	OVERHEAD LINES
[Symbol]	SIGN	LIGHT POLE
[Symbol]	EXISTING GAS MAIN	
[Symbol]	MANHOLE	PR. SANITARY SEWER
[Symbol]	HYDRANT	PR. WATER MAIN
[Symbol]	INLET	PR. STORM SEWER
[Symbol]	C.B. MANHOLE	PR. R. Y. CATCH BASIN
[Symbol]	PROPOSED LIGHT POLE	
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[Symbol]	GU 600.00	PR. GUTTER ELEVATION
[Symbol]	TW 600.00	PR. TOP OF WALK ELEVATION
[Symbol]	TP 600.00	PR. TOP OF PWMT. ELEVATION
[Symbol]	FG 600.00	FINISH GRADE ELEVATION



PROJECT
District Lofts

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Suite 106
Birmingham, MI 48009

Contact: John Kelly
Ph: (248) 258-6663

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T. 2 North, R. 11 East
City of Birmingham,
Oakland County, Michigan

SHEET
Engineering Site Plan



DATE ISSUED/REVISED

06-30-21	PRELIMINARY SITE PLAN APPROVAL
12-10-21	REVISED PER CITY
11-18-25	FINAL SITE PLAN APPROVAL

DRAWN BY:
A. Eizember

DESIGNED BY:
A. Eizember

APPROVED BY:
P. Williams

DATE:
June 30, 2021

SCALE: 1" = 20'



- EXISTING VILLA BUILDING
- DWARF ORNAMENTAL GRASSES ALL GOLD JAPANESE FOREST GRASS
- DECIDUOUS CANOPY TREES PRESIDENTIAL GOLD GINKGO
- CLIPPED EVERGREEN MASS DENSE YEWE
- INGRADE TREE UPLIGHT 8 TOTAL
- SMALL FLOWERING SHRUBS BOBO HYDRANGEA
- CLIPPED EVERGREEN HEDGE HATFIELD YEWE
- SMALL CLIPPED EVERGREEN HEDGE GREEN VELVET BOXWOOD
- LIGHTPOLE 'A' 5 TOTAL
- EVERGREEN GROUNDCOVER GREEN CARPET PACHYSANDRA

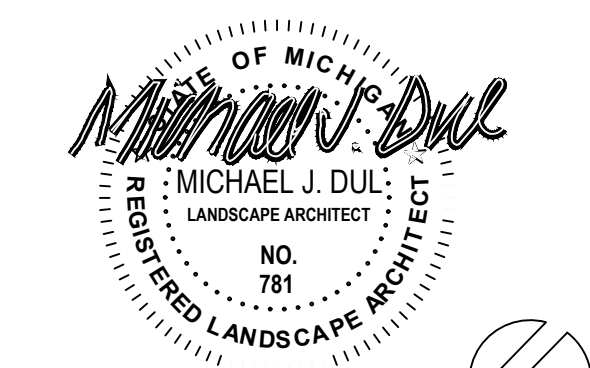
The District Lofts
 PHASE 3
 Eton Street
 Birmingham, Michigan 48009

PROJECT

PRELIMINARY

Landscape Development
LANDSCAPE PLAN

SHEET TITLE



1" = 10'-0"

SCALE

PROJECT NUMBER: 21106
 DRAWN: P. Funke
 CHECKED: M. Dul
 DATE: 2025-11-18 Final Site Plan Approval
 REVISIONS:

PLANT & MATERIAL SCHEDULE						
Sym.	Qty.	Botanical Name	Common Name	Size	Root	Comments
Deciduous Trees						
HPL	10	Hydrangea paniculata 'Limelight'-Tree Form	Tree Form Limelight Hydrangea	4-5' Sprd.	B4B	6PECIMENS-Single stem
GBP	12	Ginkgo biloba 'Presidential Gold'	Presidential Gold Ginkgo	3-3½" cal.	B4B	6PECIMENS-Full heads
Evergreen Trees						
TOE	43	Thuja occidentalis 'Emerald Green'	Emerald Green Arborvitae	7-8' ht.	B4B	Space 24" o.c.
Shrubs						
BGV	59	Buxus x microphylla 'Green Velvet'	Green Velvet Boxwood	15-18"	B4B	Space 12" o.c., acidify soil, clip into hedge
HBB	19	Hydrangea paniculata 'BoBo'	BoBo Hydrangea	18-24"	Can	Min. 3 gal., space 36" o.c., acidify soil
HLL	5	Hydrangea paniculata 'Little Lime'	BoBo Hydrangea	18-24"	Can	Min. 3 gal., space 36" o.c., acidify soil
HLQ	15	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	18-24"	Can	
HPW	2	Hydrangea paniculata 'Pinky Winky'	Pinky Winky Hydrangea	30-36"	Can	Min. 5 gal., space 60" o.c., acidify soil
TMD	295	Taxus x media 'Deniformis'	Dense Yew	24-30"	B4B	Space 20" x 24" o.c., clip into hedge
TMH	21	Taxus x media 'Hatfield' or 'Moon'	Hatfield or Moon Yew	30-36"	B4B	Space 18" o.c., clip into hedge
VCC	12	Viburnum carlesii 'Cayuga'	Cayuga Koreanspice Viburnum	30-36"	B4B	Space 60" o.c., acidify soil
Perennials/Groundcovers						
HMA	201	Hakonechloa macra 'All Gold'	All Gold Japanese Forest Grass	1 gal.	Can	Space 15" o.c.
PTG	210	Pachysandra termanis 'Green Carpet'	Green Carpet Pachysandra	1 gal.	Can	Space 12" o.c., acidify soil
PAH	29	Fernisetum alopecuroides 'Hamein'	Hamein Fountain Grass	1 gal.	Can	Space 24" o.c.
PV6	48	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	1 gal.	Can	Space 30" o.c.
Materials						
CS	5 cy	½-¾" dia. Washed Crushed Natural Stone (9A)-6" deep on 4 oz. non-woven filter fabric				
RE	360 lf	3/16" x 4" J.D. Russell Steel Edging (BLACK)-Install per manufacturer's specifications				
SB	54 cy	Shredded hardwood bark mulch (seasoned, dark brown), 3" deep in perennial and groundcover beds, 4" depth in shrub/tree beds.				
FM	106 cy	Planting mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss, to 1 part natural compost (weed-free), and 10% poultry manure, install 9" deep in all specified landscape beds				
SOD	310 sq	Fine grade, fertilize (min. 1 application), and sod (Class 'A' Blended Bluegrass Sod) on a min. 3" imported screened topsoil				
SYN	385 sf	Synthetic Pet Turf, on min. 6" compacted 21AA limestone, 1" stone dust setting bed, and ZeoFill pet turf infill				

LANDSCAPE DEVELOPMENT NOTES

- 1.) ALL EXISTING AND/OR PROPOSED SITE UTILITIES SHALL BE FIELD LOCATED, FLAGGED, AND VERIFIED PRIOR TO ANY LANDSCAPE OR IRRIGATION CONSTRUCTION.
- 2.) ALL SPECIFIED AND INSTALLED PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH AMERICAN NURSERYMAN STANDARDS (LATEST EDITION) AND BE:
 - A.) NURSERY GROWN.
 - B.) STATE DEPARTMENT OF AGRICULTURE INSPECTED AND APPROVED.
 - C.) NO. 1 GRADE WITH STRAIGHT, UNSCARRED TRUNKS & WELL-DEVELOPED UNIFORM CROWNS ON TREES.
 - D.) WARRANTED FOR A MIN. 1 YEAR FROM DATE OF ACCEPTANCE.
- 3.) SPECIFIED PLANTING SOIL MIXTURE FOR ALL SPECIFIED BEDS & PLANTS SHALL BE THREE (3) PARTS IMPORTED WELL-DRAINED, SCREENED ORGANIC TOPSOIL, TO ONE (1) PART IMPORTED CLEAN SAND, TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS, TO ONE (1) PART NATURAL COMPOST (WEED-FREE)-COMPLETE WITH 10% NATURAL POULTRY MANURE. INSTALL 9" MINIMUM DEPTH IN ALL PERENNIAL, GROUNDCOVER, ANNUAL, AND SHRUB BEDS. ALL BEDS MUST BE EXCAVATED, REMOVE AND DISPOSE (OFF-SITE) EXISTING EARTH/SOIL TO ACCEPT PROPOSED PLANT MIXTURE.
- 4.) PROPOSED SHREDDED HARDWOOD BARK MULCH SHALL BE SEASONED FOR A MINIMUM 6 MONTHS, DARK BROWN IN COLOR, AND INSTALLED 4" DEEP UNDER ALL PROPOSED TREES (INCLUDED IN UNIT COST), 4" DEEP IN ALL SHRUB AND TREE BEDS, AND 3" DEEP IN ALL PERENNIAL AND GROUNDCOVER BEDS.
- 5.) ALL PROPOSED LAWN AND LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATICALLY OPERATED SPRINKLER IRRIGATION SYSTEM, SEE IRRIGATION PLANS.
- 6.) ALL PROPOSED "SPECIMEN" PLANT MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION AND/OR DELIVERY TO THE SITE.
- 7.) THE LANDSCAPE CONTRACTOR SHALL KEEP THE STREET AND DRIVE CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES, AND SHALL THOROUGHLY SWEEP AND/OR WASH THE DRIVE AT THE END OF EACH WORK DAY.
- 8.) THE LANDSCAPE CONTRACTOR SHALL STAKE THE LOCATION OF ALL PROPOSED TREES FOR THE LANDSCAPE ARCHITECT TO APPROVE PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ALSO SET ON-SITE ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, VINES, AND GROUNDCOVERS AS PER PLAN FOR THE LANDSCAPE ARCHITECT TO APPROVE PRIOR TO PLANTING.
- 9.) ALL DEAD AND UNACCEPTABLE PLANT MATERIALS SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR DURING THE WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE ONE (1) YEAR FROM THE ACCEPTANCE OF INSTALLATION ISSUED BY THE LANDSCAPE ARCHITECT.
- 10.) PROPOSED SOD LAWN AREAS: FINE GRADE EXISTING TOPSOIL, REMOVE AND DISPOSE (OFF-SITE) EXISTING ROOTS, ROCKS, AND DEBRIS, INCLUDE IMPORTING A MIN. 3" (AVE.) IMPORTED SCREENED TOPSOIL TO FINE GRADE ALL AREAS FERTILIZE-MIN. 1 APPLICATION: STARTER FERTILIZER (13-26-12) WITH 50% SLOW RELEASE NITROGEN AT INITIAL INSTALLATION OF SOD RATE OF 5 LBS. PER 1000 SF. OR 2 LB. PER ACRE

Drive-over in-ground floodlights - STAINLESS STEEL for installation in pre-cored holes

Enclosure: Heavy gauge stainless steel. Provided with two external clamps that secure the luminaire in a pre-cored hole prepared by the customer.

Trim Ring: Heavy gauge, machined stainless steel secured to the inner housing with captive stainless steel fasteners. Trim is sealed in place using molded, one piece high temperature silicone gasket. Glass is tempered, 1/2" thick machined flush to trim ring.

Electrical: 3.0W LED luminaire, 5 total system watts, 30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED module(s) are available from factory for easy replacement. Standard LED color temperature is 4000K with an 85 CRI. Available in 3000K (85 CRI); add suffix K3 to order. Inner housing pre-wired with nine (9) feet of 18G water stopper cable, cable clamps, and waterproof cable gland entry into housing. A separate waterproof wiring box for power supply must be provided by contractor.

Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA US. For the most current technical data, please refer to www.bega-us.com.

Finish: Machined #4 brushed stainless steel. Custom colors are not available.

Temperature caution: The column "T" in this chart indicates the temperature in degrees Celsius which is reached on the center of the glass surface during operation. Surface temperatures are for exterior applications; for interior applications add 10° to temperatures shown.

Note: These luminaires are designed to bear pressure loads up to 400lbs. Non-vehicles with pneumatic tires. The luminaires must not be used for traffic lanes where they are subject to horizontal pressure from vehicles braking, accelerating, and changing direction.

CSA certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP68 10m.

Weight: 7.0 lbs.

Luminaire Luminis: 125

Type: BEGA Product: Project: Voltage: Color: Options: Modified:

Location luminaires - white safety glass	Lamp	T	A	B	C
77814	3.0W LED	25°	9°C	8°C	3°C

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INGRADE TREE UPLIGHTS Specification No Scale

LED pole-top luminaires - Asymmetrical light distribution

Application: LED pole-top luminaire with asymmetrical light distribution designed for the illumination of parking areas and roadways. Tool-less entry with hinged door for ease of maintenance. Provided with slip fitter to fit 3" O.D. poles.

Materials: Luminaire housing and pole fitter constructed of die-cast marine grade, copper free (0.03% copper content) A360.0 aluminum alloy. Clear safety glass with anti-reflective coating for increased transmission. Reflector made of pure anodized aluminum. Silicone applied robotically to casting, plasma treated for increased adhesion. High temperature silicone gasket. Mechanically captive stainless steel fasteners.

NTL tested to North American Standards, suitable for wet locations. Protection class IP66.

Weight: 10.1 lbs.

EPA (Effective projection area): 0.32 sq. ft.

Electrical: Operating voltage: 120-277V AC. Minimum start temperature: 30°C. LED module wattage: 31.5W. System wattage: 37.0W. Controllability: 0-10V dimmable. Color rendering index: Ra > 90. Luminaire lumens: 4,741 lumens (3000K). Lifetime at Ta = 15° C: > 500,000 h (L70). Lifetime at Ta = 35° C: 342,000 h (L70).

LED color temperature: 4000K - Product number = K4. 3500K - Product number = K35. 3000K - Product number = K3. 2700K - Product number = K27.

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

Finish: All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

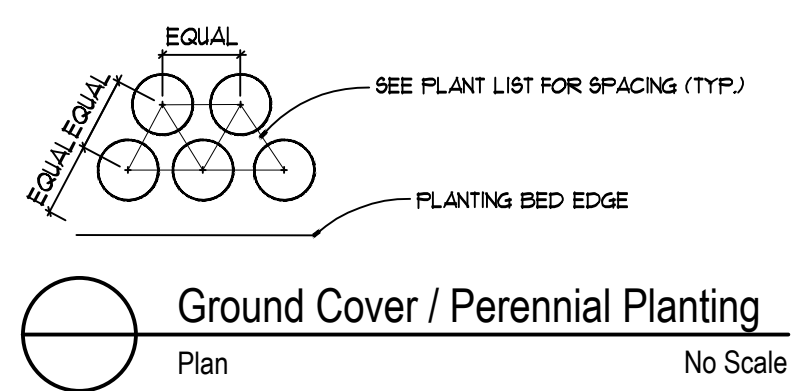
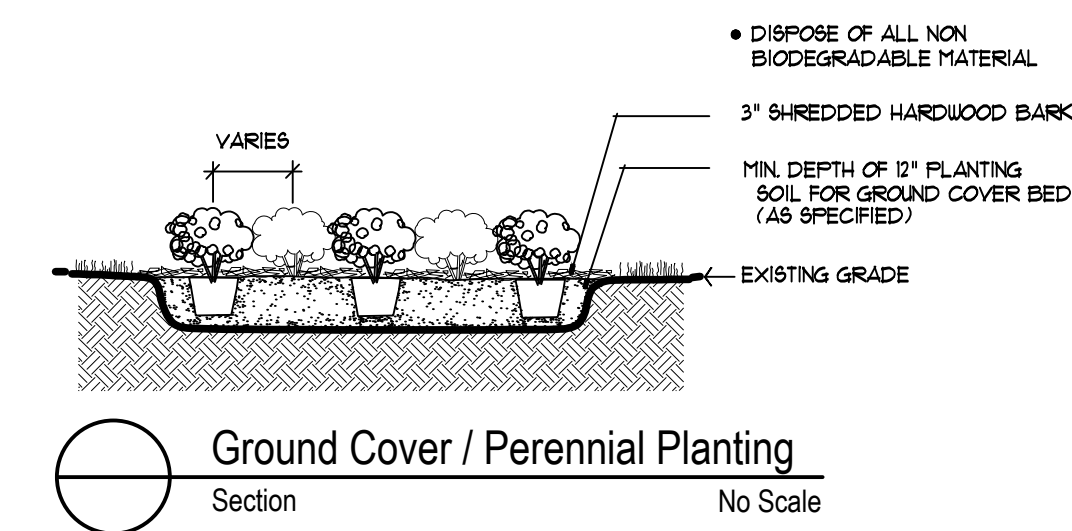
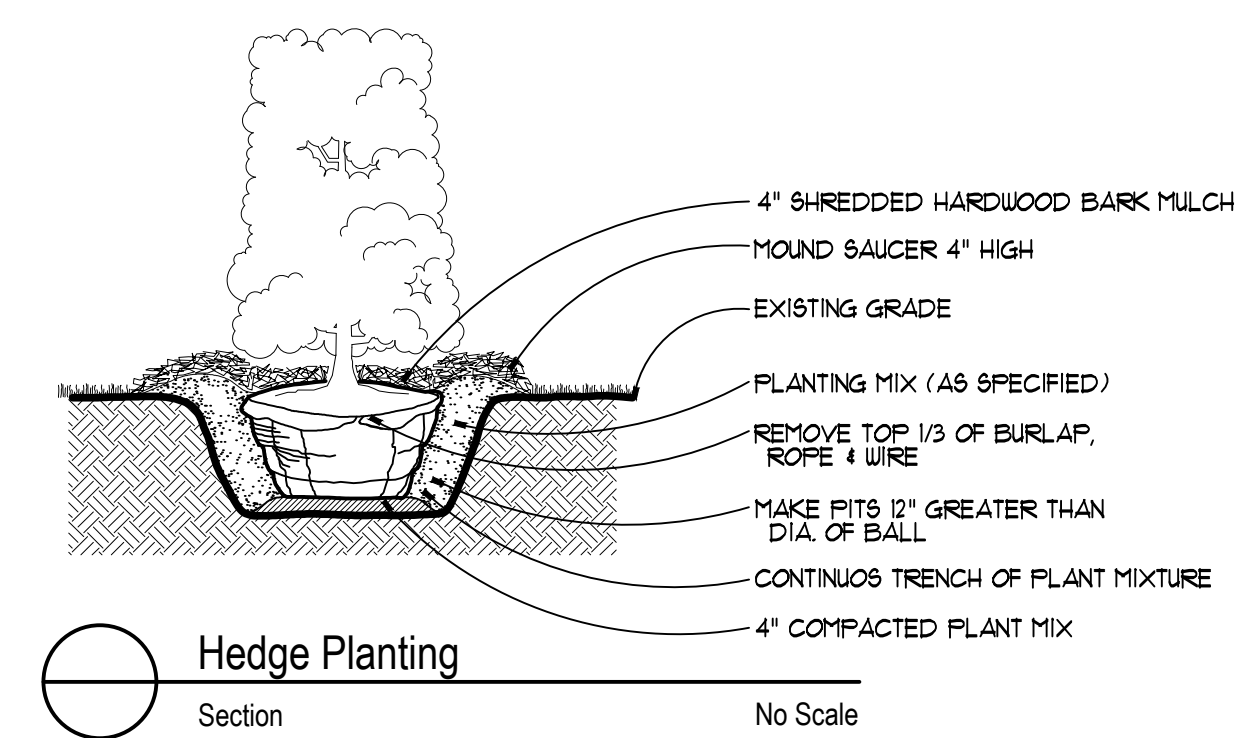
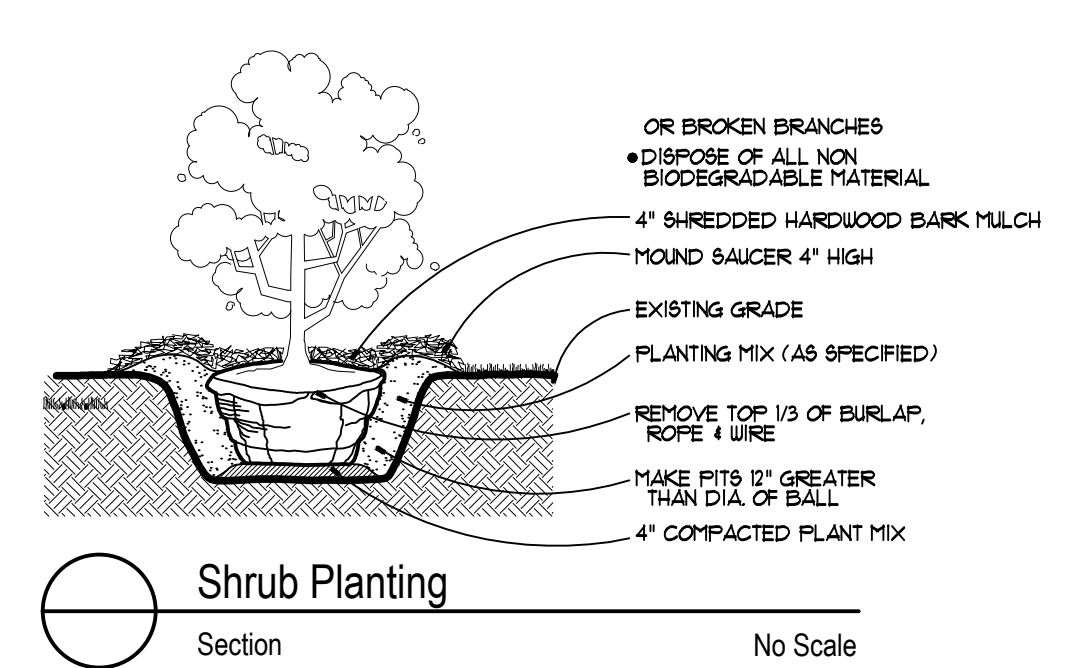
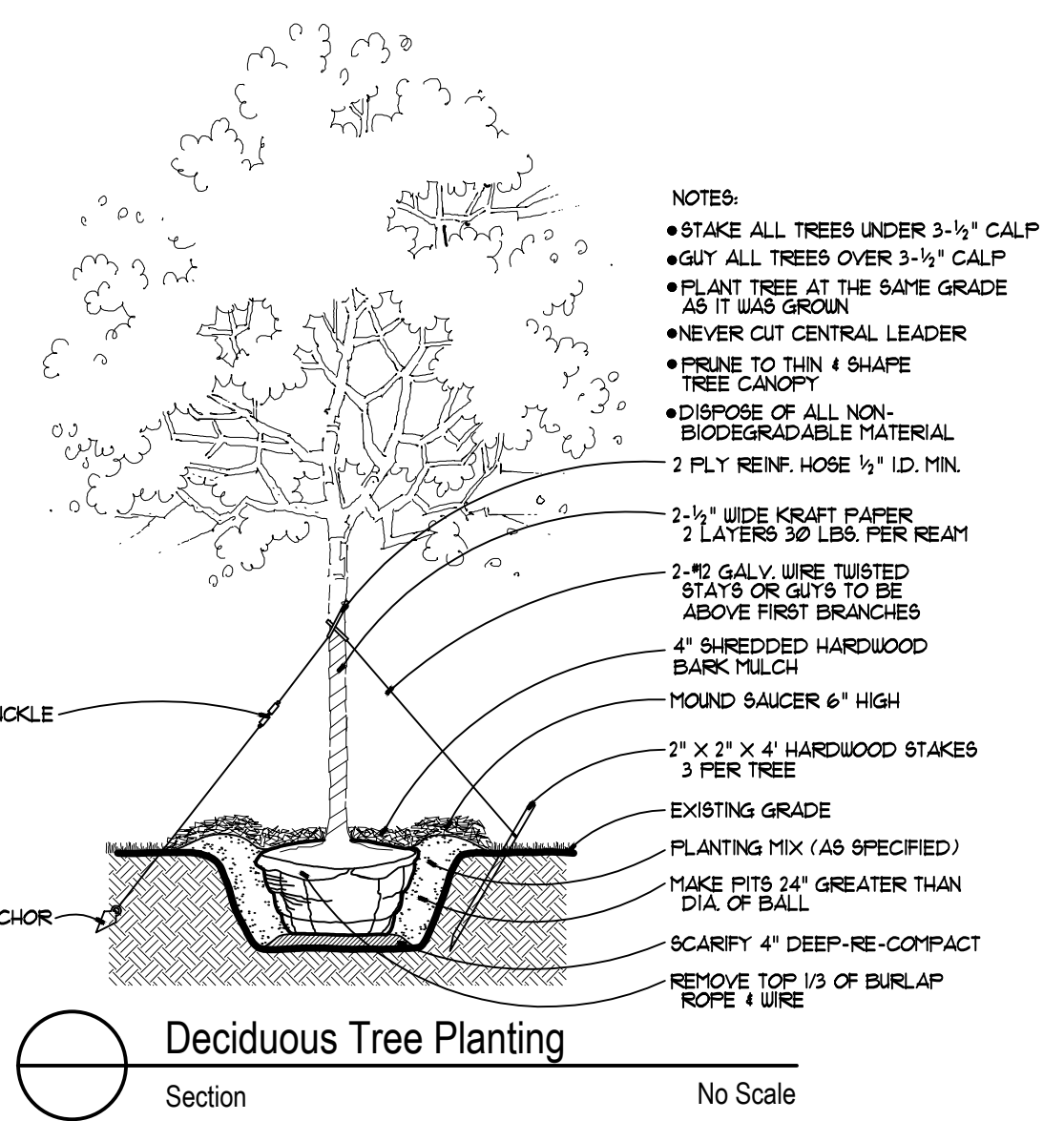
Available colors: Black (BLK) White (WHT) RAL: Bronze (BRZ) Silver (SLV) CUS:

Recommended for use with 3" to 3.5" poles.

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Due to the dynamic nature of lighting products and the associated technology, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to www.bega-us.com. ©Copyright BEGA 2016

Pole-top luminaire - Asymmetrical light distribution	LED	A	B	C
99519	31.5W	10	21h	17h

LIGHT POLE 'A' Specification No Scale



The District Lofts PHASE 3

Eton Street
Birmingham, Michigan 48009

PROJECT

PRELIMINARY

Landscape Development LANDSCAPE DETAILS

SHEET TITLE



See Details

SCALE

PROJECT NUMBER: 21106
DRAWN: P. Funk
CHECKED: M. Dul
DATE: 2025-11-18 Final Site Plan Approval
REVISIONS:

District Lofts - Phase 3 - Parking Calculations:

Parking Required:

Existing Big Rock Chop House	148
11,051 SF / 75 = 147.3	
The Villa Building -	
Office (8,000 / 300) = 26.7	27
(7) 1-BR Units (x 1.0) = 7	7
(12) 2-BR Units (x 1.25) = 15	15
Total Villa Building Required:	49
The Eton Building -	
Office (10,400 / 300) = 34.7	35
(7) 1-BR Units (x 1.0) = 7	7
(11) 2-BR Units (x 1.25) = 13.75	14
Total Eton Building Required:	56
Phase 3 Building -	
Office/Retail (6,600 / 300) = 22	22
(47) 1-BR Units (x 1.0) = 47	47
(3) 2-BR Units (x 1.25) = 3.75	4
Total Phase 3 Required:	73
Total Parking Required:	326

Parking Provided:

Existing Parking Deck	262
Spaces below Villa and Eton	102
Surface	30
Big Rock Surface	21
Total Parking Provided:	415

Excess Parking Provided: 89

District Lofts - Phase 3 - Lot Area Calculations:

Total Site Area:	143,593 SF
The Villa Building: = 19 Units Total:	
7 One Bedroom Units x 1,500 SF =	10,500 SF
12 Two Bedroom Units x 2,000 SF =	24,000 SF
	34,500 SF required
The Eton Building: = 18 Units Total:	
7 One Bedroom Units x 1,500 SF =	10,500 SF
11 Two Bedroom Units x 2,000 SF =	22,000 SF
	32,500 SF required
Phase 3 Building: = 50 Units Total:	
47 One Bedroom Units x 1,500 SF =	70,500 SF
3 Two Bedroom Units x 2,000 SF =	6,000 SF
	76,500 SF required
Total = 143,500 SF required	

Existing Site Area: 143,593 SF
 Required Site Area: 143,500 SF therefore OK

Floor Area Ratio:

Proposed Total Floor Area:	160,712 SF
100% Max. Total Floor Area:	143,593 SF
150% Max. Total Floor Area:	215,390 SF

1 Parking Space Required for every 300 S.F. over 100% FAR

Floor Area over 100%: 17,119 SF
 160,712 SF - 143,593 SF = 17,119 SF

Required Parking for Additional FAR: 57
 17,119 SF / 300 SF = 57 Spaces

Excess Parking Provided: 32
 89 - 57 = 32 Spaces

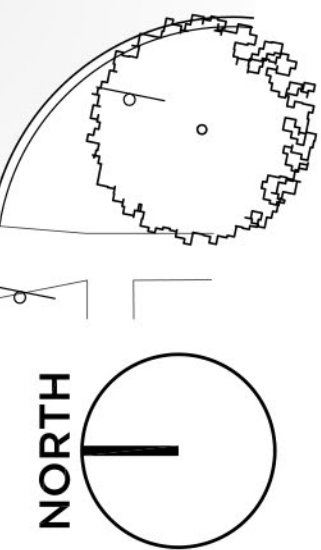


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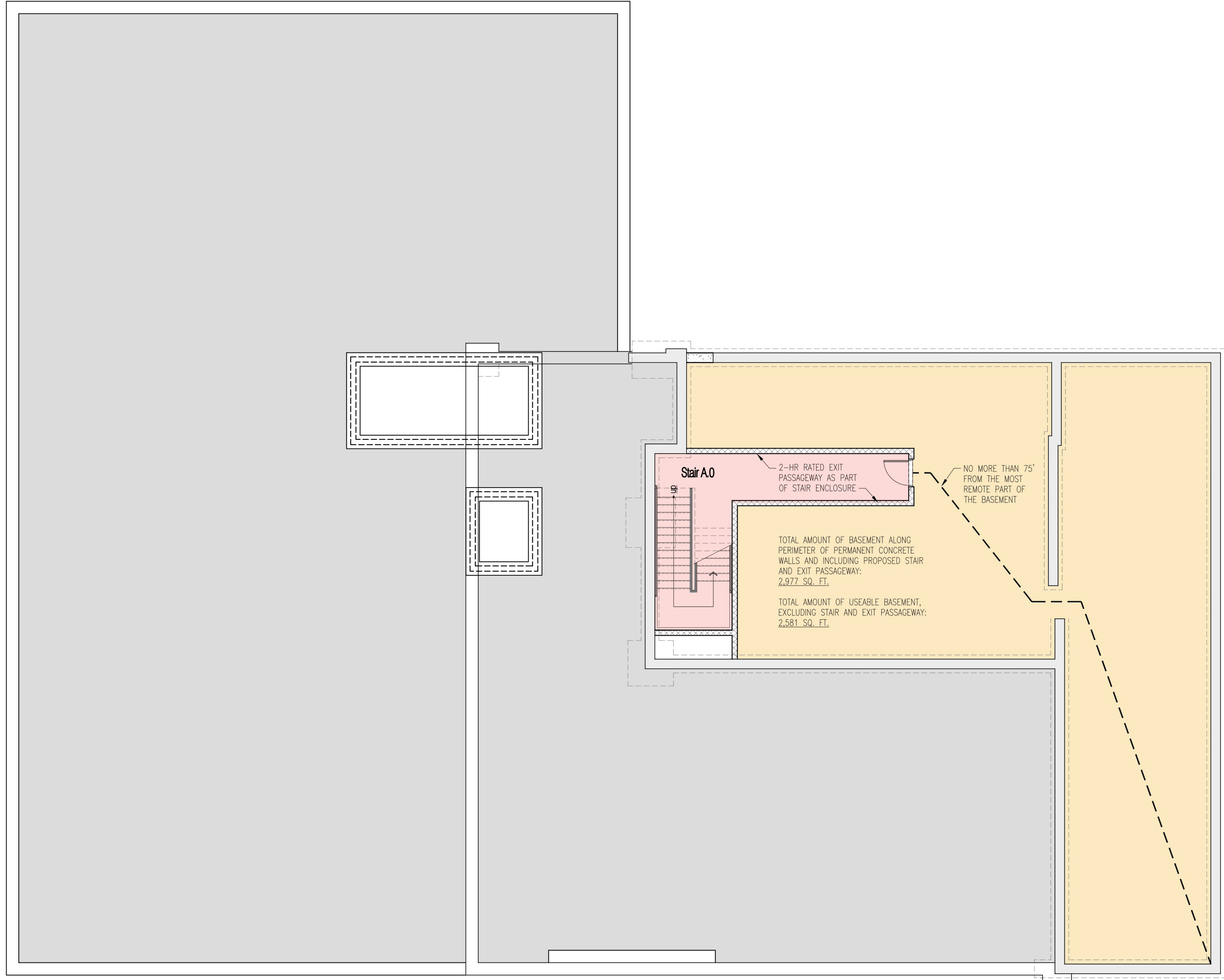
Project: The District Lofts Phase 3
Eton Street
 Birmingham, Michigan 48009
Date: 2025-11-18
Issued For: FINAL SITE PLAN APPROVAL

Sheet No.: A005
 OVERALL ARCHITECTURAL SITE PLAN

H10 Overall Architectural Site Plan
 A005 SCALE: 1" = 20.0'



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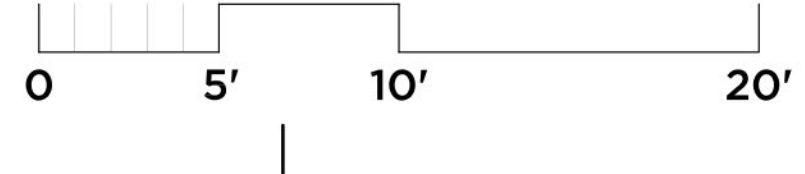
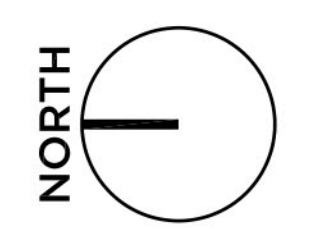
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Sheet No.:
A100
LOWER LEVEL -
FLOOR PLAN

H10
A100
Lower Level
Floor Plan
SCALE: 3/16" = 1'-0"



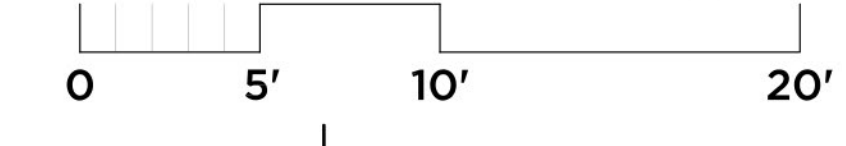
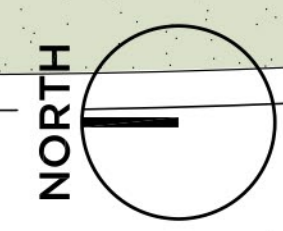
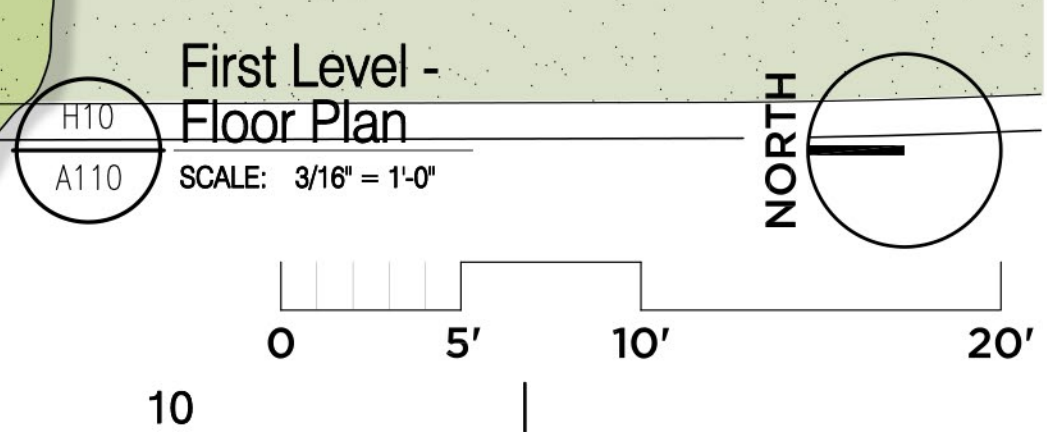
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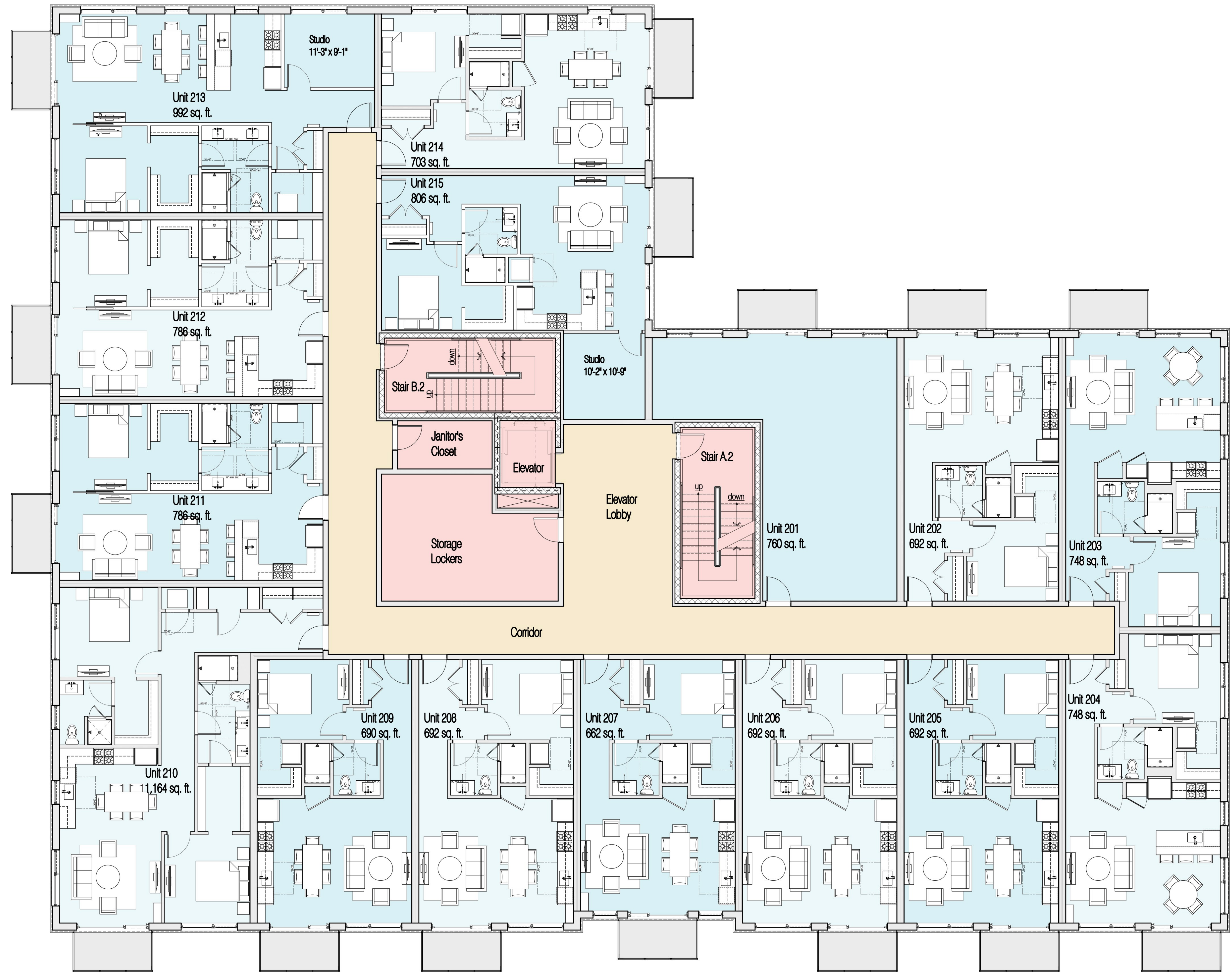
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Sheet No.:
A110
FIRST LEVEL - FLOOR PLAN



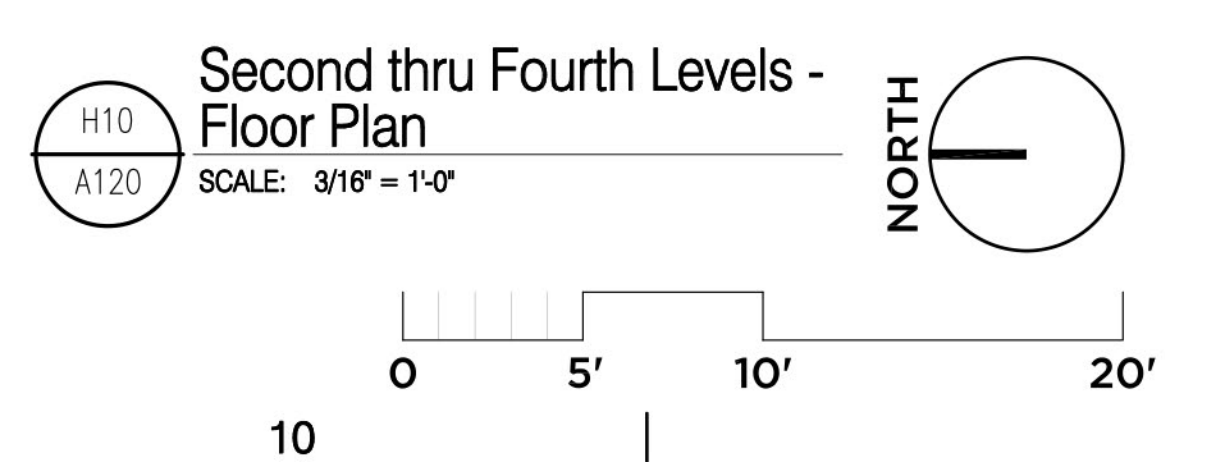
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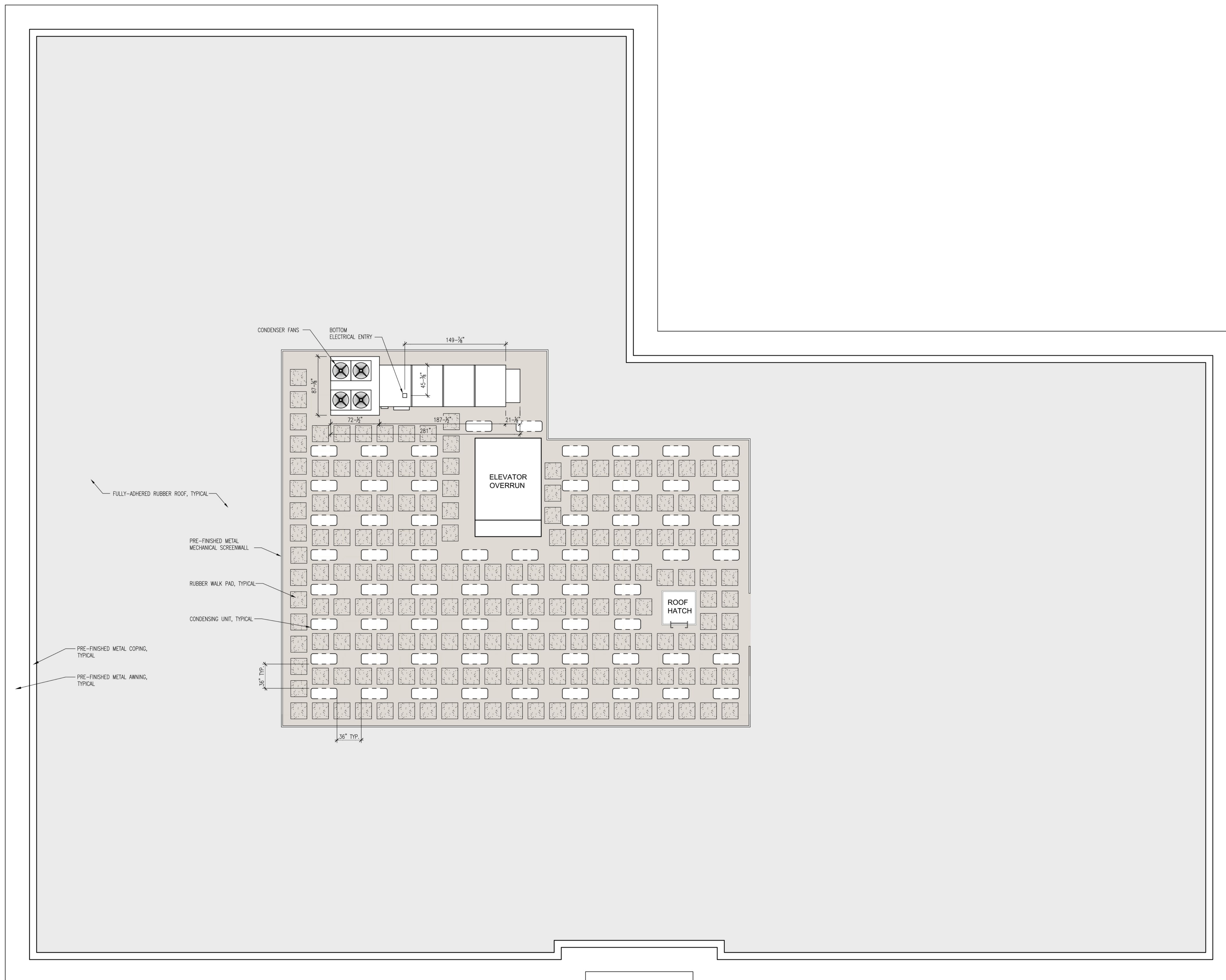
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Sheet No.:
A120
SECOND THRU FOURTH
LEVELS - FLOOR PLAN



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

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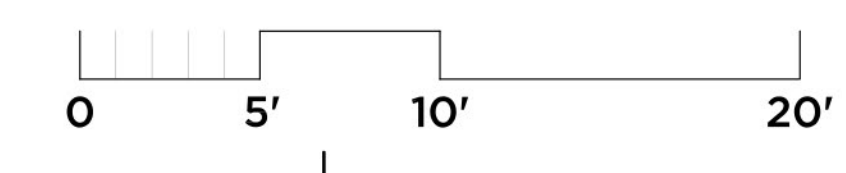


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Sheet No.:
A150
ROOF PLAN

H10
A150
Roof Plan
SCALE: 3/16" = 1'-0"



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A

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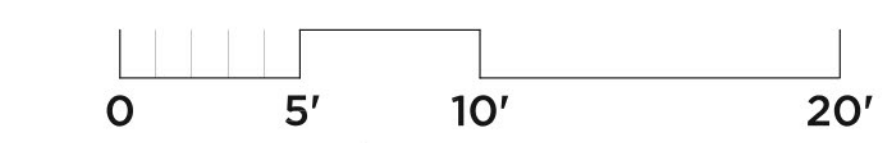
F

G

H



H10
A200 North Elevation
SCALE: 3/16" = 1'-0"



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Sheet No.:
A200
NORTH ELEVATION

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

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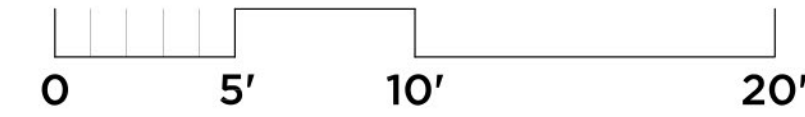


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Sheet No.:
A220
SOUTH ELEVATION

H10
A220
South Elevation
SCALE: 3/16" = 1'-0"



1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

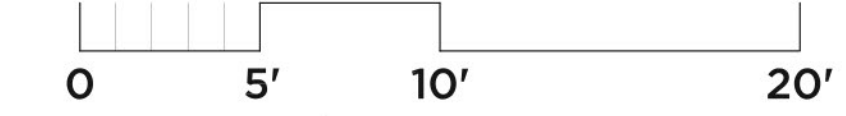
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H10
A230
East Elevation
SCALE: 3/16" = 1'-0"



Sheet No.:
A230
EAST ELEVATION

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

A
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C
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E
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G
H



**Architectural Brick
Savanah Clinker**



Cast Stone



**Metal Panel
Slate Gray**



**Steel Entrance Canopy
(Cantilevered)
Black Finish**



Operable Windows, Typical



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Sheet No.:
A900
Exterior Materials

1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10

Drive-over in-ground floodlights - STAINLESS STEEL
for installation in pre-cored holes

Enclosure: Heavy gauge stainless steel. Provided with two external clamps that secure the luminaire in a pre-cored hole prepared by the customer.
Trim Ring: Heavy gauge, machined stainless steel secured to the inner housing with captive stainless steel fasteners. Trim is added in place using mastic, one piece high temperature silicone gasket. Glass is tempered, 1/2" thick machined flat in rim.
Electrical: 3.0W LED luminaire, 5 total system watts, 30°C start temperature. Integral 120V through 277V electronic LED driver, 0-10V dimming. LED modules are available from factory for easy replacement. Standard LED color temperature is 4000K with an IRC CRI. Available in 3000K IRC CRI, and with 90 to color. Inner housing pre-wired with nine (9) feet of 18/2 water stopper cable, copper drain, and waterproof cable gland entry into housing. A separate waterproof wiring box for power supply must be provided by customer.
Note: LEDs supplied with luminaire. Due to the dynamic nature of LED technology, LED luminaire data on this sheet is subject to change at the discretion of BEGA USA. For the most current technical data, please refer to www.bega-usa.com.
Finish: Machined #4 brushed stainless steel. Custom colors are not available.
Temperature cautions: The column "T" in this chart indicates the temperature in degrees Celsius which is reached on the center of the glass surface during operation. Surface temperatures are for exterior applications, for interior applications add 10°C to temperature shown.
Note: These luminaires are designed to bear pressure loads up to 4400 lbs. from vehicles with pneumatic tires. The luminaires must not be used for traffic lanes where they are subject to horizontal pressure from vehicles braking, accelerating and changing direction.
CSA: Certified to U.S. and Canadian standards, suitable for wet locations. Protection class IP68 10m.
Weight: 7.5 lbs.
Luminaire Lumens: 125

Type: BEGA Product: Project: Voltage: Color: Options: Modified:



Location	Luminaire	White Safety Glass			
LPM	T	A	B	C	
77814	3.0W LED	29"	31"	31"	31"

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Linear wall luminaire - unshielded

Application: An unshielded wall luminaire with light output on all sides. The linear shape of this luminaire with its square foot candles is particularly suitable for installation on columns, walls, and pillars.
Materials: Luminaire housing constructed of die-cast and anodized marine grade, copper free 6063 aluminum alloy. Clear safety glass with anti-reflective coating for increased transmission. Substrate made of zinc anodized aluminum. Silicone gasketed robotically by casting, plasma treated for increased adhesion. High temperature silicone gasket. Mechanically captive stainless steel fasteners.
MTL: Listed to North American Standards, suitable for wet locations. Protection class IP68.
Weight: 14.8 lbs.
Electrical:
Operating voltage: 120-277V AC
Minimum start temperature: 32°C
LED module wattage: 18.6W
System wattage: 22W
Controllability: 0-10V dimmable
Color rendering index: Ra=80
Luminaire Lumens: 1814 lumens (2000K)
Lifetime at Ta=25°C: >250,000 h (L70)
Lifetime at Ta=30°C: 80,000 h (L70)
LED color temperature:
4000K - Product number - **K4**
3000K - Product number - **K3S**
2700K - Product number - **K2Z**
BEGA can supply you with suitable LED replacement modules for up to 30 years after the purchase of LED luminaires - see website for details.

Type: BEGA Product: Project: Voltage: Color: Options: Modified:



Location	Luminaire	White Safety Glass			
LPM	T	A	B	C	
24366	LED	18.6W	31"	31"	31"

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LED pole-top luminaires - Asymmetrical light distribution

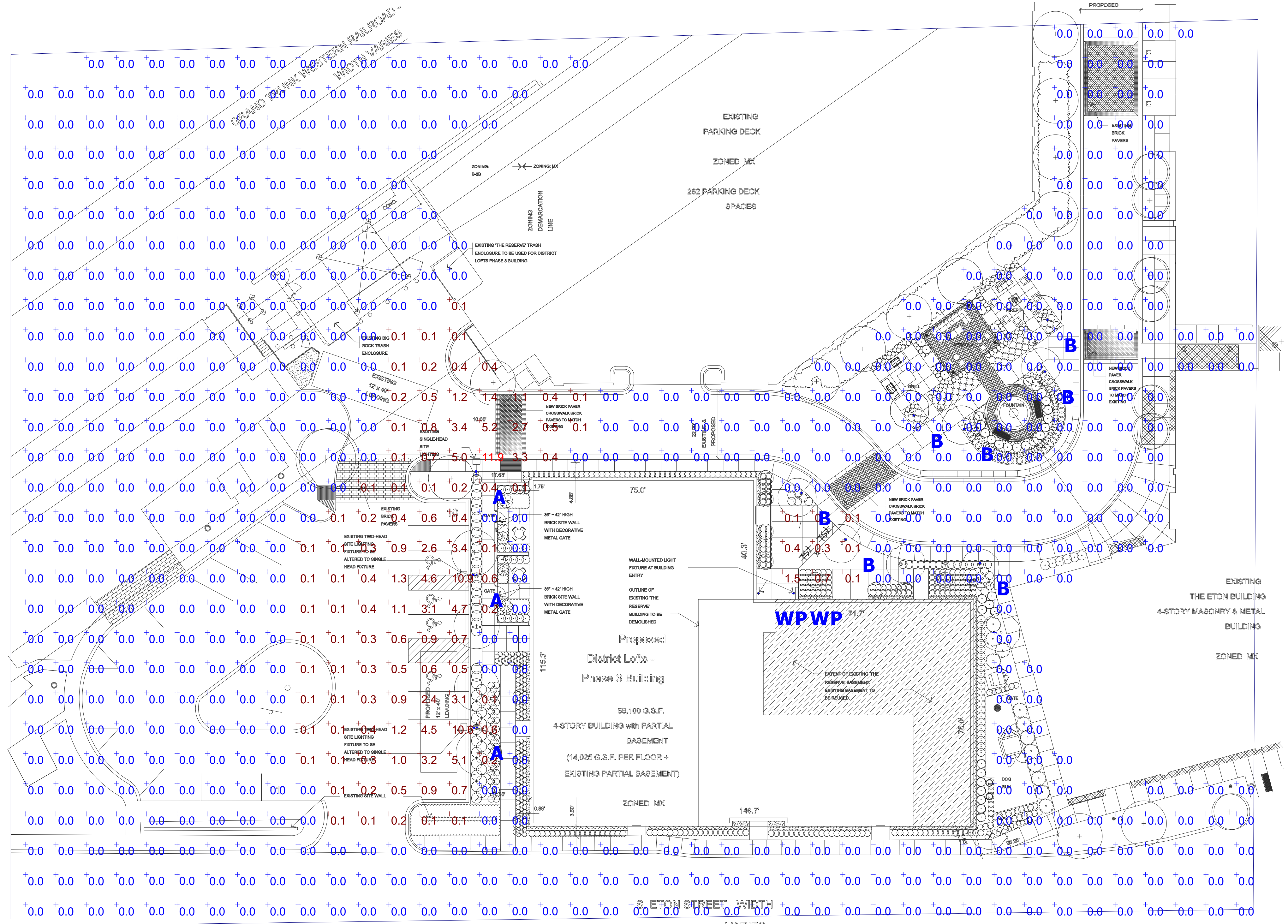
Application: LED pole-top luminaire with asymmetrical light distribution designed for the illumination of parking areas and roadways. Two size entry with longer door for ease of maintenance. Provided with slip filter to fit 3" O.D. poles.
Materials: Luminaire housing and pole filter constructed of die-cast marine grade, copper free 6063 aluminum alloy. Clear safety glass with anti-reflective coating for increased transmission. Substrate made of zinc anodized aluminum. Silicone gasketed robotically by casting, plasma treated for increased adhesion. High temperature silicone gasket. Mechanically captive stainless steel fasteners.
MTL: Listed to North American Standards, suitable for wet locations. Protection class IP68.
Weight: 10.1 lbs.
EPA Effective projection area: 0.32 sq. ft.
Electrical:
Operating voltage: 120-277V AC
Minimum start temperature: 32°C
LED module wattage: 31.5W
System wattage: 37.8W
Controllability: 0-10V dimmable
Color rendering index: Ra=80
Luminaire Lumens: 4741 lumens (2000K)
Lifetime at Ta=25°C: >250,000 h (L70)
Lifetime at Ta=30°C: 84,000 h (L70)
LED color temperature:
4000K - Product number - **K4**
3000K - Product number - **K3S**
2700K - Product number - **K2Z**
BEGA can supply you with suitable LED replacement modules for up to 30 years after the purchase of LED luminaires - see website for details.

Type: BEGA Product: Project: Voltage: Color: Options: Modified:



Location	Luminaire	White Safety Glass			
LPM	T	A	B	C	
9319	LED	31.5W	31"	31"	31"

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Plan View
Scale - 1" = 20ft

General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
3. LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Lumens Per Lamp	Light Loss Factor	Wattage	MH
WP	WP	2	BEGA Converted by LUMCat V 14.11.2016 / H.R.		24 506 K3	LED	1815	0.9	22	7'
A	A	3	BEGA Converted by LUMCat V 30.08.2016 / M.S.		99 519 K3	LED 31,5W	4742	0.9	37	12'
B	B	7	BEGA Converted by LUMCat V 02.05.2017 / H.R.		77 814 K4	LED 3,9W	125	0.9	5	GRADE

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
SITE	+	0.2 fc	11.9 fc	0.0 fc	N/A	N/A	0.0:1



MEMORANDUM

Planning Department

DATE: January 26, 2026

TO: Planning Board Members

FROM: Nicholas Dupuis, Planning Director

SUBJECT: 168 W. Maple – Teuta – Pre-Application Discussion

A pre-application discussion has been requested to gather feedback from the Planning Board on a new proposal for an outdoor dining facility at the existing Teuta restaurant. On November 10, 2025 ([Agenda – Minutes](#)), the City Commission moved Teuta forward to apply for a Special Land Use Permit to become a bistro. As a bistro, the Zoning Ordinance requires outdoor dining to be provided.

The applicant recently came before the Planning Board with a proposal for an outdoor dining platform that was unsuccessful. At this time, the applicant has adjusted their proposal to include a recess in the building and an additional facility in the furnishing zone. Any feedback provided by the Planning Board is intended to be used to improve the eventual formal request as well as to provide the Planning Board with a preview of the proposal.



MEMORANDUM

Planning Department

DATE: January 28, 2026
TO: Planning Board Members
FROM: Nicholas Dupuis, Planning Director
SUBJECT: Project Updates & Information

The following report contains the most recent updates on projects that have completed by the Planning Board and are on to the next steps of approval. In addition, other significant development-related projects that have been reviewed or embarked upon by boards/commissions such as the Historic District Commission, Design Review Board, Multi-Modal Transportation Board, or similar bodies have been included for reference as well.

Site Plan & Design Reviews

- 35001 Woodward – Land lease executed by City Commission/design development, site plan extension granted on April 23, 2025
- 239 N Old Woodward – Bloom Bistro – Under construction
- 320 Martin – Birmingham Post Office – Under construction
- 34350 Woodward – Fred Lavery Porsche – Under construction
- 479 S. Old Woodward – Birmingham Tower – Under construction
- 370 E. Brown – Under construction

City Commission

- 298 S. Old Woodward – Daxton – Public Hearing reset for February 9, 2026.
- 36977 Woodward – InvestWise – Approved on December 10, 2025.

Ordinance Amendments/Master Planning

- -

Non-Planning Board Projects

- Historic Preservation Master Plan – COMPLETE



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY FEBRUARY 11, 2026 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

- A.** Roll Call
- B.** Review and Approval of the Minutes of the Regular Meeting of **January 28, 2026**
- C.** Chairpersons' Comments
- D.** Review of the Agenda
- E.** Meeting Open to the Public for Items Not on the Printed Agenda
- F.** Unfinished Business
- G.** Rezoning Applications
- H.** Community Impact Studies
- I.** Special Land Use Permits
- J.** Site Plan & Design Reviews
- K.** Study Session
 - 1. **Zoning Ordinance Update Project**
- L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - 3. Administrative Approval Correspondence
 - i. **January 23, 2026 – February 6, 2026**
 - 4. Draft Agenda – **February 25, 2026**
 - 5. Action List – **2026**
 - 6. Other Business
- M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
- N.** Adjournment

*Please note that board meetings will be conducted in person once again. Members of the public can attend in person at Birmingham City Hall OR may attend virtually at:

Link to Access Virtual Meeting: <https://zoom.us/j/111656967>

Telephone Meeting Access: 877-853-5247 US Toll-Free

Meeting ID Code: 111656967

NOTICE: Due to Building security, public entrance during non-business hours is through the Police Department — Pierce St. Entrance only. Individuals with disabilities requiring assistance to enter the building should request aid via the intercom system at the parking lot entrance gate on Henrietta St.

Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or 248-644-3405 (TDD) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-5115 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).



AGENDA
REGULAR MEETING OF THE BIRMINGHAM PLANNING BOARD
WEDNESDAY FEBRUARY 25, 2026 – 7:30 PM
151 MARTIN ST., CITY COMMISSION ROOM 205, BIRMINGHAM MI*

- A.** Roll Call
 - B.** Review and Approval of the Minutes of the Regular Meeting of **February 11, 2026**
 - C.** Chairpersons' Comments
 - D.** Review of the Agenda
 - E.** Meeting Open to the Public for Items Not on the Printed Agenda
 - F.** Unfinished Business
 - G.** Rezoning Applications
 - H.** Community Impact Studies
 - I.** Special Land Use Permits
 - J.** Site Plan & Design Reviews
 - K.** Study Session
 - 1. **Zoning Ordinance Update Project**
 - L.** Miscellaneous Business and Communications:
 - 1. Pre-Application Discussions
 - 2. Communications
 - i. **Project Updates**
 - 3. Administrative Approval Correspondence
 - i. **February 6, 2026 – February 20, 2026**
 - 4. Draft Agenda – **March 11, 2026**
 - 5. Action List – **2026**
 - 6. Other Business
 - M.** Planning Division Action Items
 - 1. Staff Report on Previous Requests
 - 2. Additional Items from Tonight's Meeting
 - N.** Adjournment
-

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Planning Board Action List – 2025

Topic	General Goals	City Commission Directive?	2040 Plan	Quarter	Status	
					In Progress	Complete
Comprehensive Zoning Ordinance Update	Update the Zoning Ordinance based on recommendations of the 2040 Plan.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Ongoing	<input type="checkbox"/>	<input type="checkbox"/>
Triangle District Bonus Height Requirements	Create a new list of bonus height provisions for the Triangle District	<input type="checkbox"/>	<input type="checkbox"/>	1 st (January-March)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Impervious Surface, Open Space & Lot Coverage	Review and improve standards for impervious surfaces and ensure consistency with open space and lot coverage goals	<input type="checkbox"/>	<input type="checkbox"/>	1 st (January-March)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Public Project Review Process	Develop a comprehensive set of guidelines for the review of public development projects	<input type="checkbox"/>	<input type="checkbox"/>	2 nd (April-June)	<input type="checkbox"/>	<input type="checkbox"/>
“Create a Woodward Safety and Beautification Plan.”	Begin to address the Woodward divide.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	3 rd (July-September)	<input type="checkbox"/>	<input type="checkbox"/>
Ordinance Enforcement	Maintain a vibrant community.	<input type="checkbox"/>	<input type="checkbox"/>	4 th (October-December)	<input type="checkbox"/>	<input type="checkbox"/>