

**CITY OF BIRMINGHAM
MEETING OF THE BOARD OF ZONING APPEALS
TUESDAY, JULY 8, 2025
7:30 PM**

The meeting will be held in the City Commission Room at City Hall, 151 Martin St. Birmingham, MI 48009. Should you have any statement regarding any appeals, you are invited to attend the meeting in person or virtually through ZOOM:

**[https://zoom.us/j/963 4319 8370](https://zoom.us/j/96343198370) or dial: 877-853-5247 Toll-Free,
Meeting Code: 963 4319 8370**

You may also provide a written statement to the Board of Zoning Appeals, City of Birmingham, 151 Martin Street,
P.O. Box 3001, Birmingham MI, 48012-3001 prior to the hearing

1. CALL TO ORDER

2. ROLL CALL

3. ANNOUNCEMENTS

4. APPROVAL OF THE MINUTES

a) June 10, 2025 minutes

5. APPEALS

	Address	Petitioner	Appeal	Type/Reason
1)	2630 DORCHESTER	BABI CONSTRUCTION	25-15	DIMENSIONAL
2)	1998 HAZEL	LLL INVESTMENTS LLC	25-18	DIMENSIONAL
3)	1133 LATHAM	JOHN GENTILE	25-19	DIMENSIONAL
4)	798 REDDING	CAPALDI BUILDING	25-20	DIMENSIONAL
5)	1291 WASHINGTON	GREATER DETROIT LANDSCAPE	25-21	DIMENSIONAL

6. CORRESPONDENCE

7. GENERAL BUSINESS

8. OPEN TO THE PUBLIC FOR MATTERS NOT ON THE AGENDA

9. ADJOURNMENT

Title VI

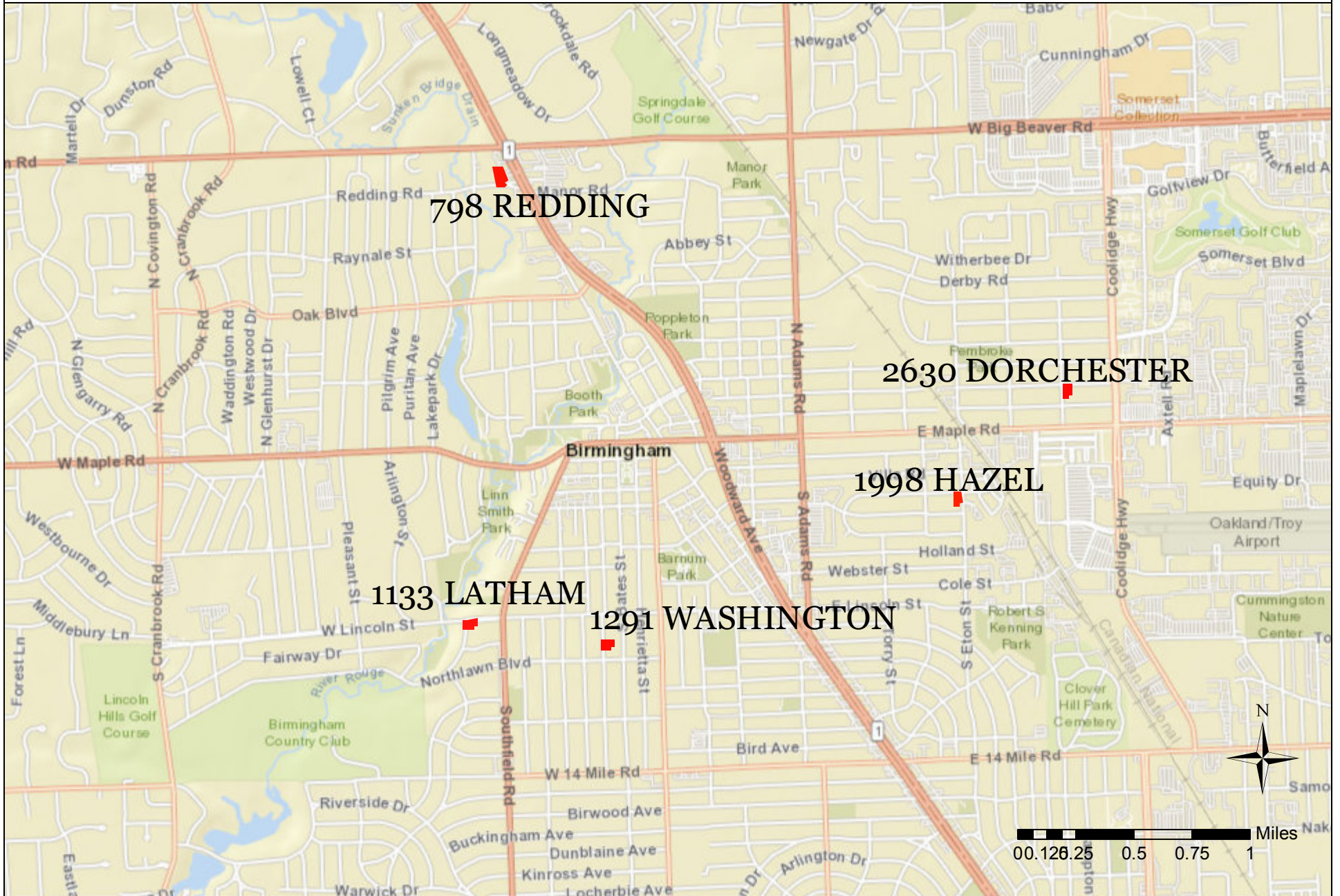
Persons with disabilities that may require assistance for effective participation in this public meeting should contact the City Clerk's Office at the number (248) 530-1880, or (248) 644-3405 (for the hearing impaired) at least one day before the meeting to request help in mobility, visual, hearing, or other assistance.

Las personas con incapacidad que requieren algún tipo de ayuda para la participación en esta sesión pública deben ponerse en contacto con la oficina del escribano de la ciudad en el número (248) 530-1800 o al (248) 644-3405 (para las personas con incapacidad auditiva) por lo menos un día antes de la reunión para solicitar ayuda a la movilidad, visual, auditiva, o de otras asistencias. (Title VI of the Civil Rights Act of 1964).

The public entrance during non-business hours is through the police department at the Pierce Street entrance only. Individuals requiring assistance entering the building should request aid via the intercom system at the parking lot entrance gate on Henrietta Street.

La entrada pública durante horas no hábiles es a través del Departamento de policía en la entrada de la calle Pierce solamente. Las personas que requieren asistencia entrando al edificio debe solicitar ayudan a través del sistema de intercomunicación en la puerta de entrada de estacionamiento en la calle de Henrietta.

JULY BZA MAP



Birmingham Board Of Zoning Appeals Proceedings
June 10, 2025
City Commission Room
151 Martin Street, Birmingham, Michigan

1. Call To Order

Minutes of the regular meeting of the City of Birmingham Board of Zoning Appeals ("BZA") held on June 10, 2025. The meeting was convened at 7:30 p.m.

2. Rollcall

Present: Chair Erik Morganroth; Board Members Kevin Hart, Richard Lilley, John Miller, Ron Reddy; Alternate Board Members Carl Kona, Donald Rogers

Absent: Vice Chair Jason Canvasser

Staff: Planning Director Dupuis, City Transcriptionist Eichenhorn, Assistant Building Official Morad

The Chair took rollcall of the petitioners. All petitioners were in attendance.

3. Announcements

The Chair welcomed those present and reviewed the meeting's procedures. He noted that the members of the Board of Zoning Appeals are appointed by the City Commission and are volunteers who serve staggered three-year terms. They are a quasi-judicial board and sit at the pleasure of the City Commission to hear appeals from petitioners who are seeking variances from the City's Zoning Ordinance. Under Michigan law, a dimensional variance requires four affirmative votes from this board, and the petitioner must show a practical difficulty. A land use variance requires five affirmative votes and the petitioner has to show a hardship. He pointed out that this board does not make up the criteria for practical difficulty or hardship. That has been established by statute and case law. Appeals are heard by the board as far as interpretations or rulings. In that type of appeal the appellant must show that the official or board demonstrated an abuse of discretion or acted in an arbitrary or capricious manner. Four affirmative votes are required to reverse an interpretation or ruling.

4. Approval of the Minutes of the BZA Meetings of May 13, 2025

Motion by Lilley

Seconded by Kona to approve.

Motion carried, 7-0.

VOICE VOTE

Yeas: Hart, Miller, Rogers, Lilley, Kona, Reddy, Morganroth

Nays: None

5. Appeals

1) 284 W. Maple Appeal 25-16

PD Dupuis presented the item, explaining that the owner of the property known as 284 W. Maple was requesting the following variances for modifications to required window areas:

A. Chapter 126, Article 4, Section 4.90 (B) of the Zoning Ordinance prohibits windows from being blocked with opaque materials or furniture, products, signs, blank walls or the backs of shelving. The applicant is proposing 392 sq. ft. of window film over the windows on the west side of the building along N. Bates. Therefore, a dimensional variance of 392 sq. ft. is requested.

Staff answered informational questions from the Board.

David Blair, architect, reviewed the letter describing why this variance was being sought. The letter was included in the evening's agenda packet.

Board members raised the following point in the course of discussion:

- The space was smaller than the applicant was accustomed to for generating enough revenue to justify the space.
- This is a corner building with glass on two sides, which does not align with the applicant's preferences. These preferences do not seem to amount to a hardship.
- It would be helpful to see what the applicant would have to do in order to leave the windows exposed.
- It is common for national retailers to adapt their stores to the context in which the stores will be located. That would be appropriate here.
- The City prioritizes walkability, and that includes having windows that encourage the visual interplay between exterior and interior spaces.
- The Board exists to uphold the ordinance.
- It seemed that there were other urban J. Jill stores that changed their layout to better accommodate an urban environment. Consequently, this could be a possibility in Birmingham as well.
- There were likely other mitigations available that could reduce or eliminate the need to block windows.
- The applicant indicated that they were unable to customize their fixtures, and the Board would have to make its decision based on that representation.

Motion by Miller

Seconded by Kona with regard to Appeal 25-16, A. Chapter 126, Article 4, Section 4.90 (B) of the Zoning Ordinance prohibits windows from being blocked with opaque materials or furniture, products, signs, blank walls or the backs of shelving. The applicant is proposing 392 sq. ft. of window film over the windows on the west side of the building along N. Bates. Therefore, a dimensional variance of 392 sq. ft. is requested.

Mr. Miller moved to deny. He said that it was difficult to understand how this corner store location in Birmingham was resulting in a hardship. He noted that the ordinance requires and maintains clear glass in the downtown area, and that the lack of any presentation of other potentially viable options was a concern. He continued that there were no special conditions applicable to the property, that the site could be used for its permitted use without the variance, that literal enforcement of the chapter would not result in unnecessary hardship, that granting the variance would be contrary to the spirit and intent of the ordinance, and that granting the variance would not do substantial justice to neighboring businesses.

Board comments on the motion were as follows:

- **The applicant’s presentation was helpful for understanding all the factors at play.**
- **It seemed the space was not appropriate for the applicant because of the specific needs of the applicant.**
- **Birmingham wants to maintain a walkable community with transparent windows.**
- **It would be positive if the applicant were able to find another way to be present within Birmingham.**

Motion carried, 7-0.

ROLL CALL VOTE

Yeas: Miller, Rogers, Hart, Lilley, Kona, Reddy, Morganroth

Nays: None

**2) 298 S. Old Woodward
Appeal 25-17**

PD Dupuis presented the item, explaining that the owner of the property known as 298 S. Old Woodward was requesting the following variance for modifications to an existing required off-street loading facility:

A. Chapter 127, Article 4, Section 4.24 (C) of the Zoning Ordinance requires that commercial uses between 5,001 and 20,000 square feet are required to provide one usable off-street loading space. In addition, the Zoning Ordinance requires an off-street loading space to have the following minimum dimensions: 40 feet long, 12 feet wide and 14 feet high. The Daxton Hotel is proposing to eliminate the existing required off-street loading space in favor of a new waste receptacle and other back-of-house needs. Therefore, a dimensional variance of 1 usable off-street loading space is requested.

Staff answered informational questions from the Board.

Robert Carmack of Superior Hospitality Group reviewed the letter describing why this variance was being sought. The letter was included in the evening’s agenda packet.

Board members raised the following point in the course of discussion:

- It raised some concern that the hotel was not presently using its loading dock, given the congestion that results from businesses' deliveries at this intersection.
- There did not seem to be sufficient clearance for any large vehicle to conduct deliveries via the lower level of the building.
- This hotel could not have been built without the loading dock or a variance.
- Since the extant loading dock does not presently accommodate a larger truck, the proposed change might not make a significant difference in terms of deliveries.
- It would be beneficial to see where else the trash might be stored, other than the loading dock, in order to create a laundry room.
- The applicant was not proposing the structurally change the loading dock's use as part of this request. Consequently, the loading dock would still exist on-site.
- This proposal could reduce the amount of traffic congestion at the intersection by eliminating laundry pick-up and deliveries.
- The loading dock may function better when the construction across from the hotel is completed. A potential future tenant of this space might find benefit in the loading dock.
- The applicant is already using the loading dock for trash storage, whether bins or the proposed compactor.
- It might be possible to permit the applicant the use of the loading dock for trash storage presently, with the understanding that the loading dock must be structurally maintained.
- Evaluating the loading dock's ability to function as a loading dock overall was not presently before the Board.
- The Planning Board's approval of the planning aspects would only allow the creation of the laundry room and the use of the loading dock for trash storage. It did not permit changing the loading dock into another type of space.
- The loading dock does not presently receive any deliveries. All deliveries with the exception of laundry use the lower level of the building.

Motion by Reddy

Seconded by Kona with regard to Appeal 25-17, A. Chapter 127, Article 4, Section 4.24 (C) of the Zoning Ordinance requires that commercial uses between 5,001 and 20,000 square feet are required to provide one usable off-street loading space. In addition, the Zoning Ordinance requires an off-street loading space to have the following minimum dimensions: 40 feet long, 12 feet wide and 14 feet high. The Daxton Hotel is proposing to eliminate the existing required off-street loading space in favor of a new waste receptacle and other back-of-house needs. Therefore, a dimensional variance of 1 usable off-street loading space is requested.

Mr. Reddy moved to approve the appeal and tied approval to the plans as submitted. He said that there were enough special circumstances unique to the property to merit the variance. He noted that this hotel had a small loading dock as a result of its location in a dense urban area. He continued that the variance should be tied to the Planning Board's approval, and that the loading dock should be able to be returned to its original state in the event of a new tenant. He said the loading dock should only be modified to allow the installation of the trash compactor ramp and the storage of the trash compactor. Literal enforcement would result in an unnecessary hardship because the applicant presently experiences some delivery issues. The trash compactor would eliminate some of those issues. Granting the variance would not be

contrary to the spirit and intent of ordinance because the specific circumstances of the property justify the variance.

Board comment on the motion was as follows:

- It would be more accurate to the Board's intent if, instead of 'eliminate the existing required off-street loading dock', the advertisement had read 'modify the existing required off-street loading dock'. That would be a reduced request versus elimination.
- If the Board preferred 'modify' to 'eliminate', the Board could vote down this motion and make a new motion.
- There was some discomfort with saying that the building did not need a loading dock.
- It would be difficult for the appellant to mandate that vendors only deliver via the lower level.
- This would not create a meaningful precedent because most businesses in this zoning category would not require regular deliveries via a 40 foot long vehicle.
- It was not clear whether this loading dock might function once the construction across the street was completed. The hotel might also be able to find a different location for the laundry.

Motion carried, 4-3.

ROLL CALL VOTE

Yeas: Rogers, Hart, Lilley, Reddy

Nays: Kona, Miller, Morganroth

6. Correspondence

Any correspondence was provided to the Board and the relevant appellants.

7. General Business

8. Open To The Public For Matters Not On The Agenda

9. Adjournment

No further business being evident, the Board motioned to adjourn at 9:08 p.m.

Jeff Zielke, Building Official



Laura Eichenhorn, City Transcriptionist

CASE DESCRIPTION

2630 Dorchester (25-15)

Hearing date: July 8, 2025

Appeal No. 25-15: The owner of the property known **2630 Dorchester**, requests the following variance to construct a new home:

A. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that a minimum distance between principal residential buildings on adjacent lots to be 14.00 feet or 25% of the lot width, whichever is larger. The required is 14.00 feet. The proposed is 12.23 feet. Therefore, a variance of 1.77 feet is requested on the west side.

Staff Notes: The applicant is looking to construct a new house with an attached garage.

This property is zoned R2 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS
Building Official

CHAPTER 126 - ZONING

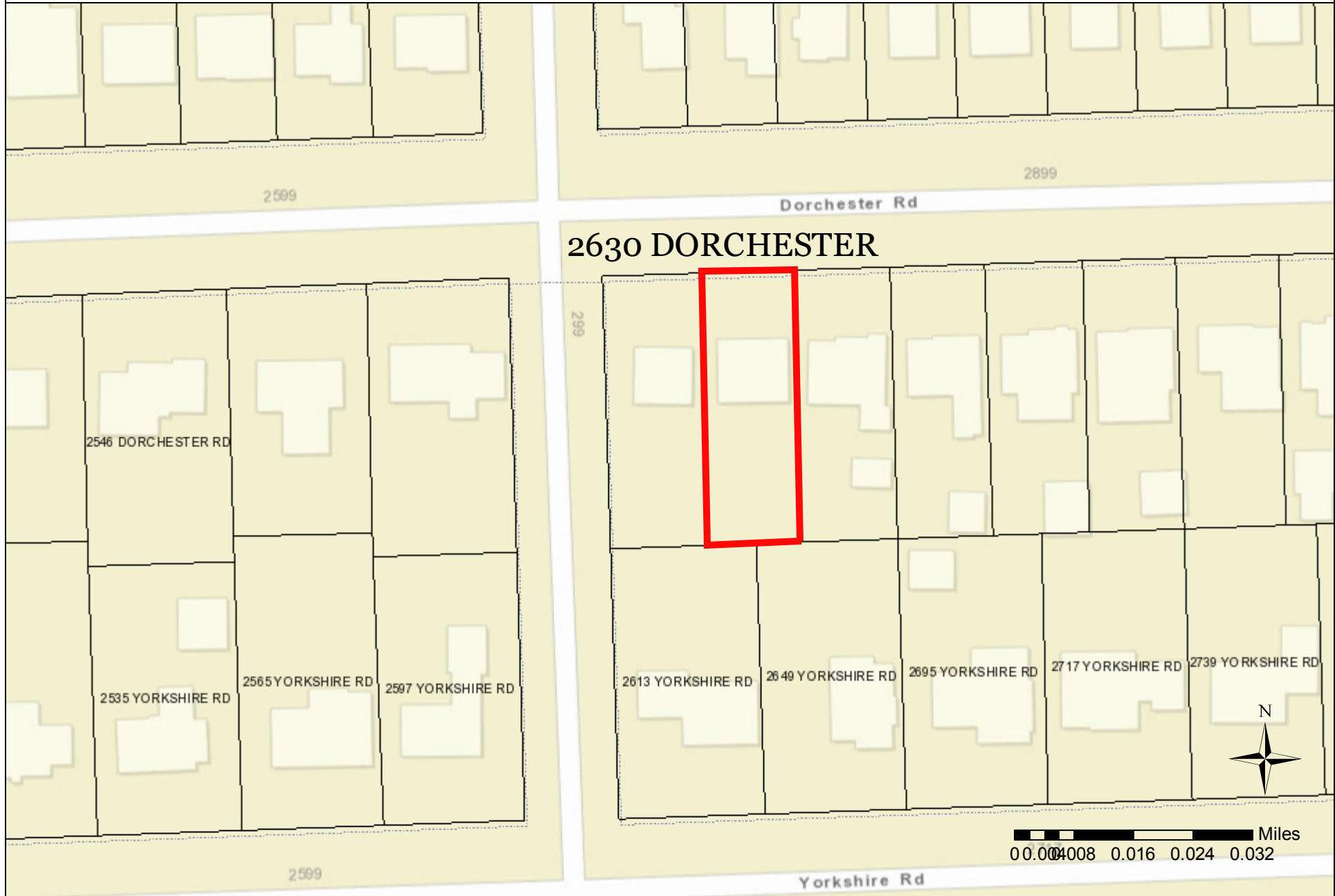
ARTICLE 8: ENFORCEMENT AND PENALTIES

8.01 The Board of Zoning Appeals

3. Variances.
 - a. The Board of Zoning Appeals shall hear and grant or deny requests for variances from the strict application of the provisions of the Zoning Ordinance where there are practical difficulties or unnecessary hardships in carrying out the strict letter of such chapter. In granting a variance, the Board of Zoning Appeals may attach such conditions as it may deem reasonably necessary to promote the spirit and intent of the Zoning Ordinance. The Board of Zoning Appeals shall not grant any variance unless it first determines that:
 - i. Because of special conditions applicable to the property in question, the provisions of the Zoning Ordinance, if strictly applied, unreasonably prevent the property owner from using the property for a permitted purpose;
 - ii. Literal enforcement of the chapter will result in unnecessary hardship;
 - iii. The granting of the variance will not be contrary to the spirit and purpose of the Zoning Ordinance nor contrary to the public health, safety and welfare; and
 - iv. The granting of the variance will result in substantial justice to the property owner, the owners of property in the area and the general public.

(EACH i-iv must be satisfied)

2630 DOCHESTER MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Received Date: _____

Hearing Date: 7/8/2025

Received By: _____

Appeal #: 25-15

Type of Variance:	<input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: 2630 Dorchester	Lot Number: 89 & 90	Sidwell Number: 20-30-477-002
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II. OWNER INFORMATION:

Name: Babi Construction Inc			
Address: 1250 Romney Rd	City: Bloomfield Hills	State: MI	Zip code: 48304
Email* Babibuilders@yanoo.com		Phone: 248-506-0921	

III. PETITIONER INFORMATION:

Name: Babi Construction Inc	Firm/Company Name:		
Address: 1250 Romney Rd	City: Bloomfield Hills	State: MI	Zip code: 48304
Email: Babibuilders@yahoo.com		Phone: 248-506-6927	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. COMPLETE digital applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$750.00** for single family residential; **\$950.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- Please provide the following in your electronic submission:**
- Completed and signed application
 - Signed letter of practical difficulty and/or hardship
 - Certified survey
 - Building plans including existing and proposed floor plans and elevations
 - If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: Riad Babi	Digitally signed by Riad Babi Date: 2025.05.12 14:24:10 -04'00'	Date: <u>5/12/2025</u>
Signature of Petitioner: Derek Babi	Digitally signed by Derek Babi Date: 2025.05.12 14:24:34 -04'00'	Date: <u>5/12/2025</u>

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
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3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
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B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

Riad Babi  Digitally signed by Riad Babi
Date: 2025.05.12 14:25:01 -04'00'

Signature of Applicant

City of Birmingham BZA
RE: 2630 Dorchester Birmingham

Hello BZA,

This Letter describes the hardship and practical difficulty we are experiencing in designing our house at 2630 Dorchester Rd.

Our currently designed house for 2630 Dorchester proposes the side setbacks to be 9.00 feet on the east (left) side and 5.67 feet on the west (right) for a total side yard setback of 14.67 feet, 0.67 Feet more than the 14 feet total required. We are meeting all other setbacks/ordinances but the neighbor directly to the west (2616 Dorchester) being a corner lot reduces our distance between structures. If the neighboring lot at 2616 Dorchester were vacant, we would not need any variance with our current plans as we are complying with all of the required setbacks for our lot individually.

We are requesting a variance of 1.77 Feet for a total distance between structures of 12.23 Feet.

Requested Variance	Required	Proposed	Variance Amount
Variance A: Distance between structures	14 Feet	12.23 Feet	1.77 Feet

Thank you,

Riad Babi
Babi Construction Inc.

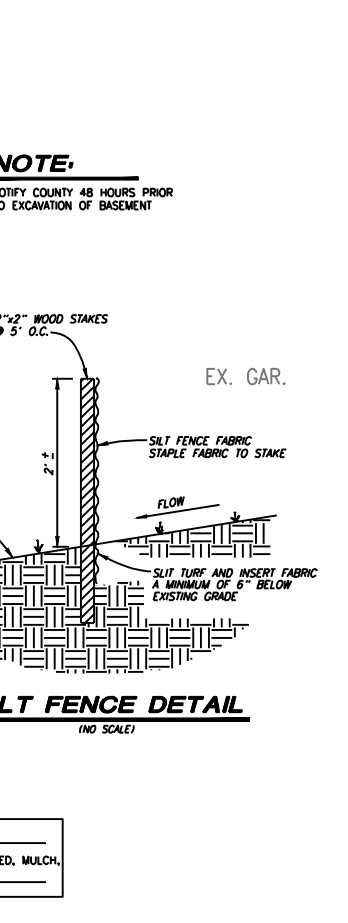
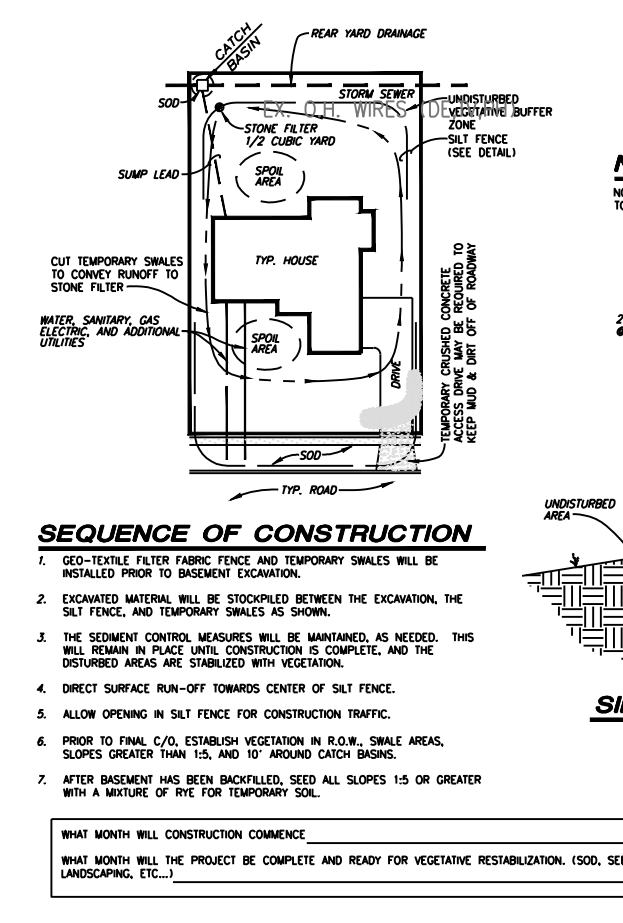
Riad Babi

PLOT PLAN
PART OF LOTS 89 AND 90
EAST MAPLE GARDENS
 PART OF THE S.E. 1/4 OF SECTION 30
 T.21N, R.11E, CITY OF BIRMINGHAM
 OAKLAND COUNTY, MICHIGAN

BY: _____ DATE: _____
 ADDITIONS AND/OR REVISIONS: _____
 250206-9208
 Job No. _____
 Date 3-24-25
 Scale 1"=10'
 Drawn CV
 Check J. MORRIS
 Sheet 1 of 1
 Fld. Bk. 5-7-25
 REVISOR SETBACKS FOR VARIANCE

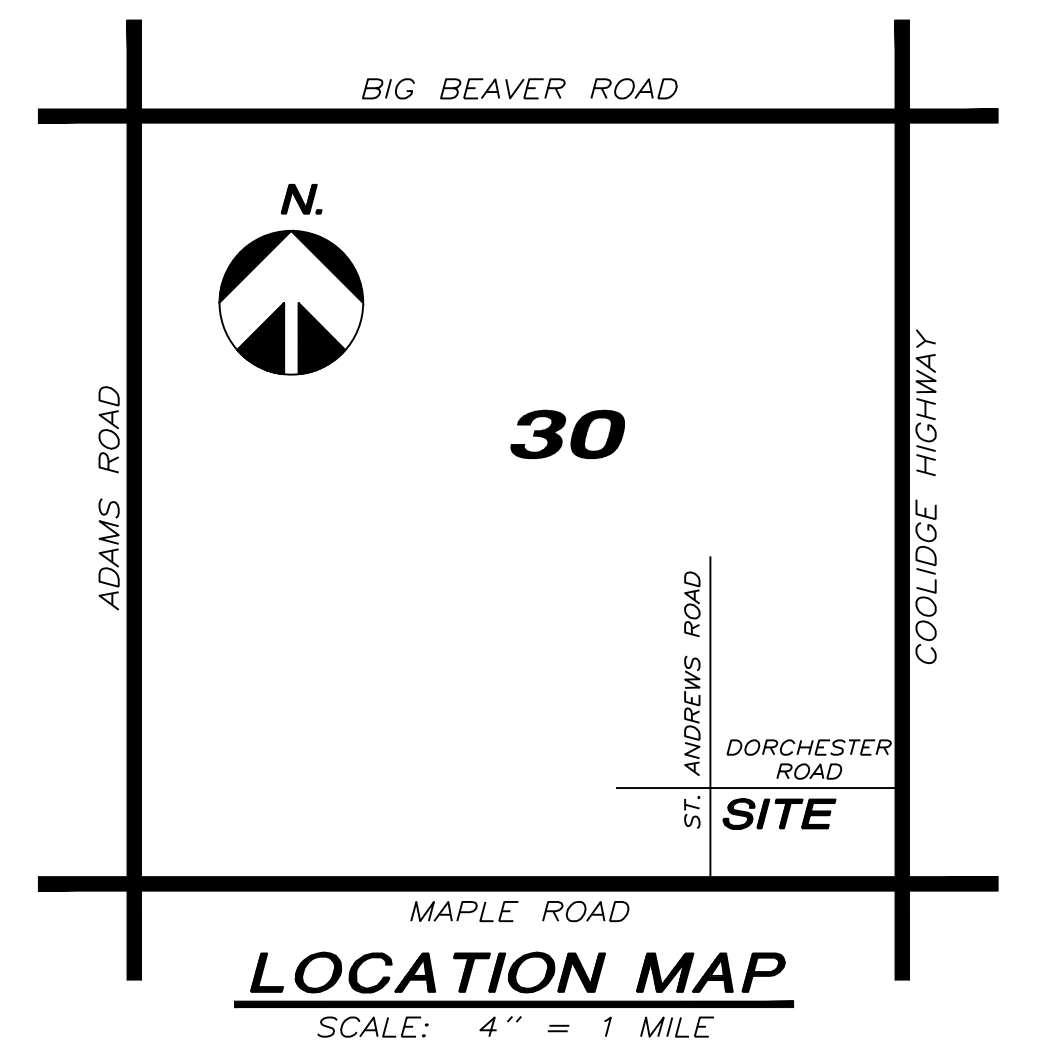
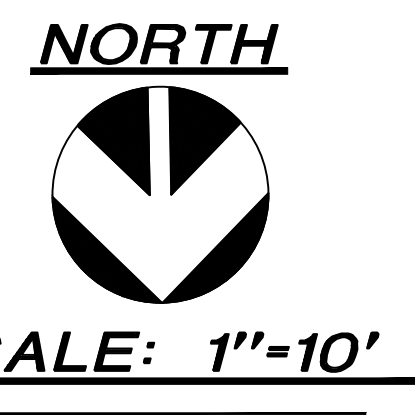
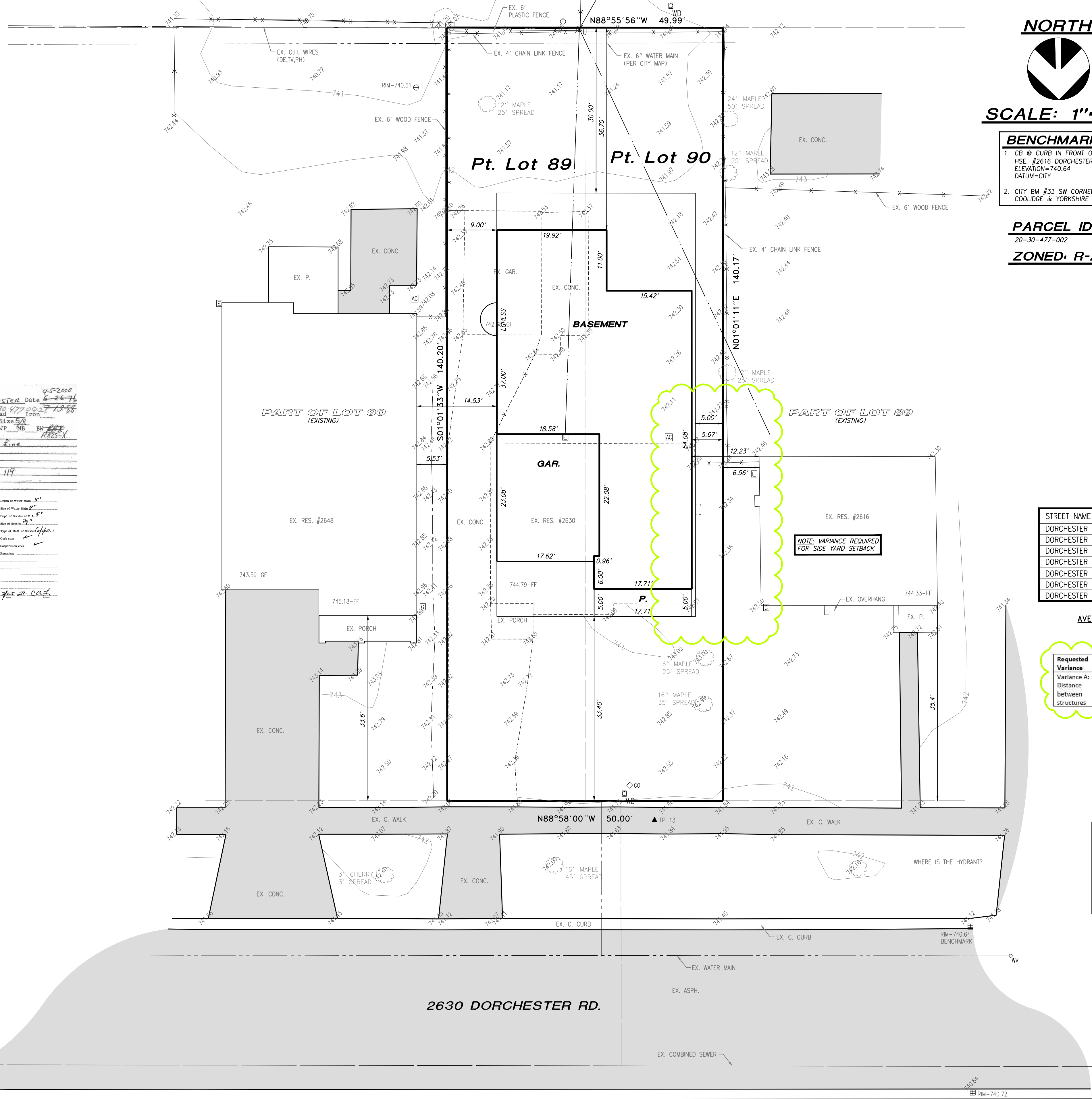
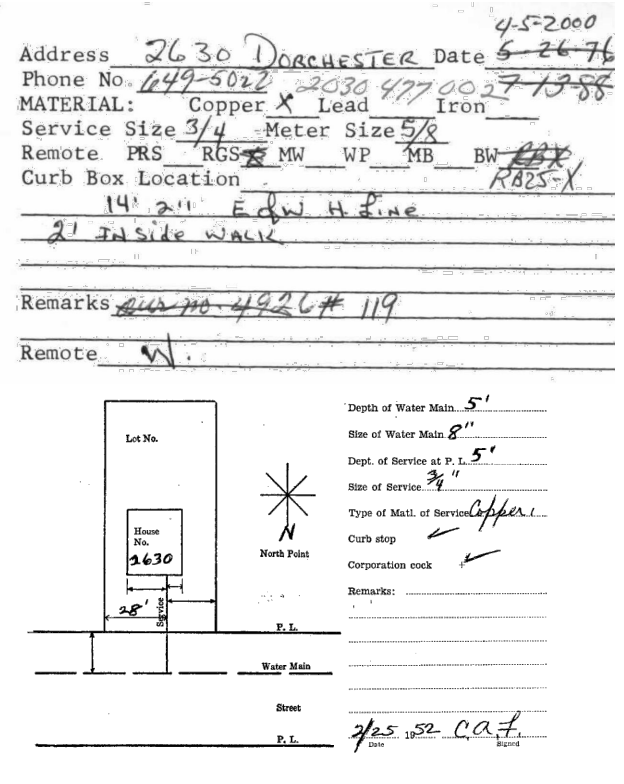
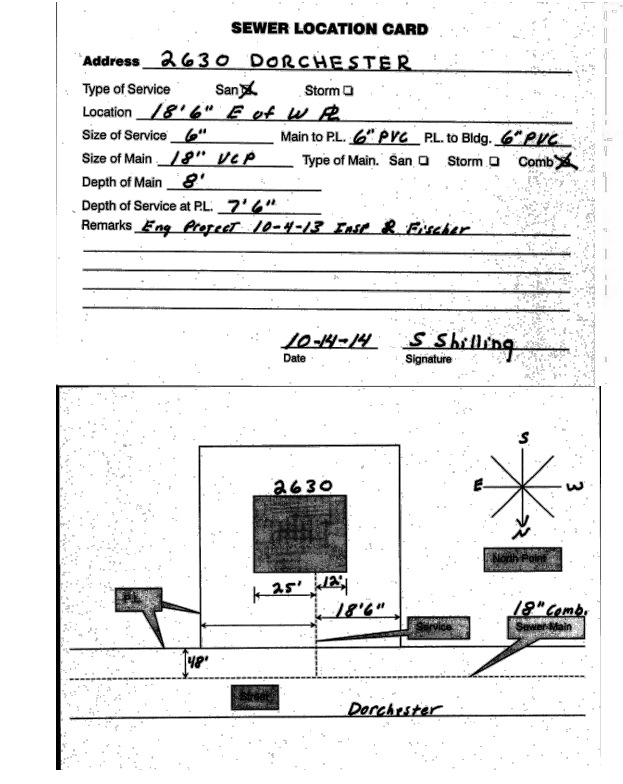
BABI CONSTRUCTION
 1250 ROWNEY ROAD
 BLOOMFIELD HILLS, MI 48304
 248-506-6927

PHONE 586 731-8030
URBAN LAND CONSULTANTS
 PLANNERS LAND SURVEYORS
 8800 23 MILE ROAD
 SHELBY TWP., MI 48316-4516



SOIL EROSION DETAILS
 (NO SCALE)

NOTE:
 THE CONTRACTOR IS REQUIRED TO INSPECT THE EROSION MEASURES ON A WEEKLY BASIS AND AFTER EVERY RAINSTORM



BENCHMARK

- CB @ CURB IN FRONT OF HSE. #2616 DORCHESTER ELEVATION=740.64 DATUM=CITY
- CITY BM #33 SW CORNER OF COOLIDGE & YORKSHIRE

PARCEL ID
 20-30-477-002

ZONED: R-2

PROPERTY DESCRIPTION
 THE EAST 25 FEET OF THE NORTH 1/2 OF LOT 89 AND THE WEST 25 FEET OF THE NORTH 1/2 OF LOT 90, "EAST MAPLE GARDENS", THE SOUTH 666 FEET OF THE SOUTHEAST 1/4 OF SECTION 30, T.21N, R.11E, TROY TOWNSHIP (NOW CITY OF TROY), OAKLAND COUNTY MICHIGAN ACCORDING TO THE RECORD PLAT AS RECORDED IN LIBER 31 OF PLATS ON PAGE 15 OF THE OAKLAND COUNTY RECORDS.

AVERAGE SETBACK - 33.4' DORCHESTER

Street Name	House #	Setback	Eave Ht.	Peak Ht.
DORCHESTER	2710	34.2'	8.8'	17.0'
DORCHESTER	2694	34.2'	9.9'	16.7'
DORCHESTER	2676	34.1'	8.8'	15.9'
DORCHESTER	2648	33.5'	22.4'	29.4'
DORCHESTER	2630**	33.8'	9.7'	16.9'
DORCHESTER	2616	33.7'	9.7'	21.6'
DORCHESTER	2586	30.8'	8.9'	15.9'

Requested Variance	Required	Proposed	Variance Amount
Distance between structures	14 Feet	12.23 Feet	1.77 Feet

MINIMUM SETBACKS
 HOUSE IS LOCATED AT MINIMUM SETBACKS. URBAN LAND CONSULTANTS HIGHLY RECOMMENDS 0.50' BUFFER AT ALL SETBACKS.
 URBAN LAND CONSULTANTS RECOMMENDS ALL FOUNDATIONS PROPOSED WITHOUT SETBACK BUFFER TO HAVE FOUNDATION WALLS PINNED TO THE FOOTING.

NOTE:
 INVERTS CALCULATED, ULC DOES NOT GUARANTEE CONTRACTOR TO CONFIRM ALL ELEVATIONS PRIOR TO CONSTRUCTION

GRADING NOTE

- ALL PROPOSED GRADING SHALL BE CONTAINED WITHIN THE PROPERTY LINES OF THIS LOT, AND SHALL NOT ENCRoACH UPON ANY ADJACENT PROPERTIES.
- SOIL EROSION CONTROLS ARE REQUIRED TO BE INSTALLED AROUND THE ENTIRE PERIMETER OF SOIL DISRUPTION FOR THE COUNTY.

NOTE: SIDEYARD DRAINAGE SHALL NOT DRAIN ONTO ADJACENT LOTS! (TYPICAL)

ATTENTION BUILDERS/CONTRACTORS

- THIS DRAWING IS NOT INTENDED TO REPRESENT A BOUNDARY OR LOT SURVEY, AND SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES OR LOCATE IMPROVEMENTS.
- U.L.C. ASSUMES NO RESPONSIBILITY FOR THE GIVEN BUILDING DIMENSIONS. DIMENSIONS MUST BE VERIFIED BY OWNER/BUILDER PRIOR TO CONSTRUCTION.
- THIS PLAN SHALL NOT BE USED TO SET FOUNDATIONS. ARCHITECTURAL PLANS MUST BE USED FOR CONSTRUCTION OF FOUNDATION.
- UPON ACCEPTANCE AND SUBMITAL OF THIS PLAN FOR PERMITS, THE OWNER/BUILDER ACKNOWLEDGES HE HAS REVIEWED THE PLAN, AND THAT IT MEETS THE ESTABLISHED REQUIREMENTS.
- APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL CODES AND ORDINANCES THAT SHALL APPLY.

6. SETBACKS SHOWN ON THIS DRAWING HAVE BEEN OBTAINED FROM THE MUNICIPALITY. ANY DEED OR SPECIAL RESTRICTIONS - (i.e. SUBDIVISION RESTRICTIONS, HOUSE SIZE, BUILDING LOCATION, etc.) MUST BE SUPPLIED TO U.L.C. IN WRITING WHEN PLOT PLAN IS ORDERED. U.L.C. WILL NOT BE RESPONSIBLE FOR INTERPRETING SUBDIVISION RESTRICTIONS.

7. U.L.C. RECOMMENDS A .50' EXTRA ALLOWANCE TO ALL MINIMUM SETBACKS, WHERE THE OWNER / BUILDER DOES NOT FOLLOW THIS RECOMMENDATION, THE OWNER / BUILDER AGREES TO HOLD U.L.C. HARMLESS FOR STRUCTURE ENCROACHMENT (S) INTO THE MINIMUM SETBACK.

8. UTILITY LEAD LOCATIONS AS SHOWN ARE APPROXIMATE. AS-BUILT LOCATIONS MUST BE OBTAINED FROM THE LOCAL MUNICIPALITY.

NOTE:
 **CONTRACTOR TO CONFIRM BASEMENT WALL HEIGHT, FIRST FLOOR ELEVATION AND BASEMENT FLOOR ELEVATION PRIOR TO THE START OF CONSTRUCTION!!!

URBAN LAND CONSULTANTS WILL SET HIGH GRADE/BRICKLEDGE CONTRACTOR TO USE GRADE SET ON SITE.

811
 KNOW WHAT'S BELOW.
 CALL BEFORE YOU DIG.

CAUTION
 CONTRACTOR TO VERIFY GROUND WATER PRIOR TO CONSTRUCTION.
 ULC RECOMMENDS SOIL ANALYSIS TO BE PERFORMED BY A PROFESSIONAL.
 CONTRACTOR TO MONITOR EXCAVATION FOR SOIL/GROUND WATER CONDITIONS.

NOTE:
 SANITARY SEWER 4" 6" PVC SCH 40 OR APPROVED EQUAL @ 1.00% MIN.
 SUMP LEAD TO BE 3" 4" PVC SCH 40 OR APPROVED EQUAL.
 WATER SERVICE TO BE 1" 1.5" 2" TYPE "K" COPPER OR APPROVED EQUAL.

2630 DORCHESTER BIRMINGHAM, MI

GENERAL NOTES

- THE ATTACHED PLANS & SPECIFICATIONS ARE THE SOLE PROPERTY OF JDI ARCHITECTS & PLANNERS. ANY UNAUTHORIZED USE OF THESE PLANS WITHOUT PRIOR WRITTEN CONSENT OF JDI ARCHITECTS & PLANNERS IS STRICTLY PROHIBITED.
- JDI ARCHITECTS & PLANNERS DESIGNS & BUILDS HOUSING AS SET FORTH BY THE FORMAT AND PROVISIONS OF THE MICHIGAN RESIDENTIAL CODE (2015 IRC), AND THE NATIONAL ELECTRIC CODE (NEC). ANY NON-CONFORMING DOCUMENTS DISCOVERED BY THE CONTRACTOR OR HIS AGENTS SHALL BE CALLED TO THE IMMEDIATE ATTENTION OF JDI ARCHITECTS & PLANNERS.
- THESE PLANS ARE SUBJECT TO MODIFICATIONS TO MEET CODE REQUIREMENTS AND/OR TO FACILITATE MECHANICAL/ELECTRICAL/PLUMBING INSTALLATION AND/OR TO IMPLEMENT DESIGN IMPROVEMENTS. ANY INTENTION TO MAKE SUCH MODIFICATIONS MUST BE APPROVED IN WRITING BY JDI ARCHITECTS & PLANNERS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AFFECTING CONTRACTOR'S PRODUCTS, INSTALLATIONS, OR FABRICATIONS IN THE FIELD PRIOR TO EXPEDITING THE CONSTRUCTION OF SUCH WORK. FIELD VERIFY ALL DIMENSIONS - DO NOT SCALE DRAWINGS! CONTRACTOR IS RESPONSIBLE FOR SURVEYING THE PROJECT AND BECOMING FAMILIAR WITH THE EXISTING CONDITIONS AND SCOPE OF WORK INCLUDING BUT NOT LIMITED TO SITE AND SOIL BEARING CONDITIONS.
- ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES, OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE ARCHITECT PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.

DESIGN LOADS:

* WIND LOAD: 90 MPH (3 SECOND GUST)
FLOOR JOIST LOADING CRITERIA: EXT. DECK JOIST LOADING CRITERIA

FIRST FLOOR LOADING (WOOD/CARPET):
LIVE LOAD 40 P.S.F.
DEAD LOAD 15 P.S.F.
TOTAL LOAD 55 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/360

DECK LOADING:
LIVE LOAD 60 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 70 P.S.F.
LIVE LOAD DEFLECTION L/360
TOTAL LOAD DEFLECTION L/240

SECOND FLOOR LOADING (WOOD/CARPET):
LIVE LOAD 40 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 50 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/360

ROOF TRUSS LOADING CRITERIA (DIMENSIONAL SHINGLES):
TOP CHORD LIVE LOAD 25 P.S.F.
DEAD LOAD 17 P.S.F.
BOTT. CHORD LIVE LOAD 0 P.S.F.
DEAD LOAD 10 P.S.F.
TOTAL LOAD 52 P.S.F.
LIVE LOAD DEFLECTION L/240
TOTAL LOAD DEFLECTION L/180

FLOOR W/ CERAMIC TILE:
LIVE LOAD 40 P.S.F.
DEAD LOAD 25 P.S.F.
TOTAL LOAD 65 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/360

NOTE:
1. ADD 20 P.S.F. TO BOTTOM CHORD LIVE LOAD FOR UNINHABITABLE ATTICS WITH STORAGE
2. ADD 40 P.S.F. TO BOTTOM CHORD LIVE LOAD FOR HABITABLE ATTIC TRUSSES.

FLOOR W/ MARBLE:
LIVE LOAD 40 P.S.F.
DEAD LOAD 35 P.S.F.
TOTAL LOAD 75 P.S.F.
LIVE LOAD DEFLECTION L/480
TOTAL LOAD DEFLECTION L/220

LUMBER NOTES:

- ALL CONVENTIONAL FRAMED FLOOR DECKS SHALL BE:
2x10 - #2 HEM FIR, OR BETTER
2x12 - #2 DOUGLAS FIR, OR BETTER.
- ALL COMMON FRAMING LUMBER IS TO MEET THE FOLLOWING MINIMUM SPECIFICATIONS AT 19% MOISTURE CONTENT:

MATERIAL	Fb(Psi)	Ft(Psi)	Fc(Psi) (PERP.)	E(Psi)
#2 SPRUCE PINE FIR	675	450	425	1,400,000
#2 HEM FIR	650	425	425	1,200,000
#2 DOUGLAS FIR-LARCH (2X12)	650	500	425	1,600,000

- ALL STRUCTURAL COMPOSITE LUMBER (LVL, LSL, PSL) IS TO MEET THE FOLLOWING MINIMUM SPECIFICATIONS:

APPLICATION:	Fb(Psi)	Fc(Psi) (PARALLEL)	Fc(Psi) (PERP.)	E(Psi)
GIRDERS & BEAMS (LVL)	2,400	2,510	750	1,900,000
GIRDERS & BEAMS (PSL)	2,900	2,900	750	2,000,000
RIBBOARDS (LSL)	1,700	1,400	435	1,300,000
COLUMNS (PSL)	2,400	2,500	NA	1,800,000

- ALL GLUE LAMINATED TIMBER (GLU-LAM) IS TO MEET THE FOLLOWING MINIMUM SPECIFICATIONS:

APPLICATION:	Fb(Psi)	Fc(Psi) (PARALLEL)	Fc(Psi) (PERP.)	E(Psi)
GIRDERS & BEAMS (LVL, PSL)	2,400	1,700	740	1,700,000
COLUMNS (LSL)	1,600	1,550	560	1,500,000

- OPEN WEB FLOOR TRUSSES:

APPLICATION:	Fb(Psi)	Fc(Psi) (PARALLEL)	Fc(Psi) (PERP.)	E(Psi)
GIRDERS & BEAMS (LVL, PSL)	2,400	1,700	740	1,700,000
COLUMNS (LSL)	1,600	1,550	560	1,500,000

- ALL JOIST ARE TO BE PRODUCED IN ACCORDANCE WITH THE AMERICAN PLYWOOD ASSOCIATION (APA) AND ENGINEERED WOOD ASSOCIATION (EWS) PERFORMANCE RATED JOIST STANDARDS REFERENCE TABLE #7 FOR APA / EWS CONSISTENT ENGINEERING DESIGN VALUES AND PROPERTIES AS RELATED TO BENDING STIFFNESS, MOMENT CAPACITY, SHEAR CAPACITY, INTERMEDIATE / END REACTIONS ALONG WITH COEFFICIENT OF SHEAR DEFLECTION.

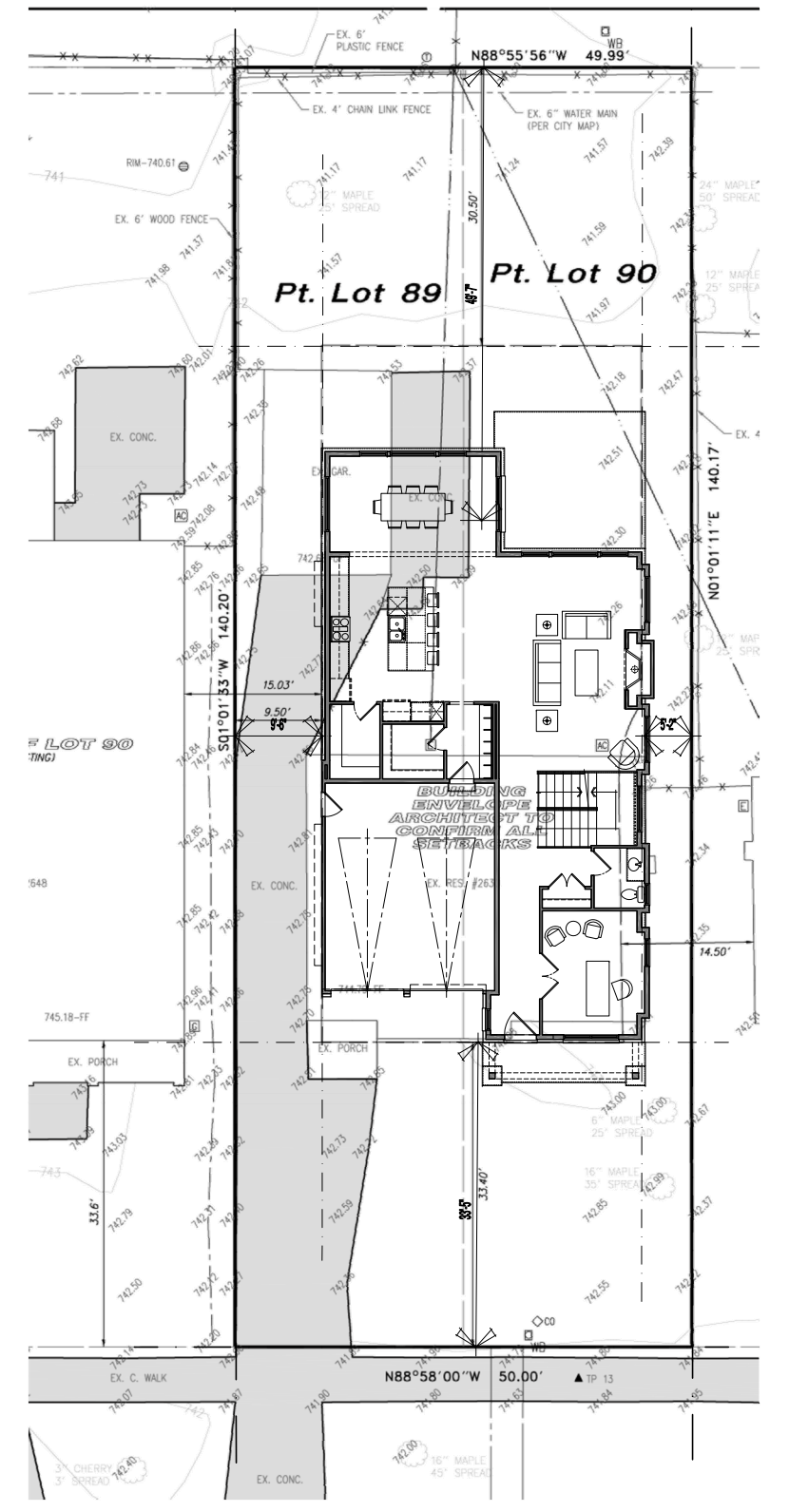
TABLE R703.7.3.1
ALLOWABLE SPANS FOR LINTELS
SUPPORTING MASONRY VENEER A,B,C

SIZE OF STEEL ANGLE (INCHES) A,C	NO STORY ABOVE	ONE STORY ABOVE	TWO STORES ABOVE	NO. OF 1" OR EQ. REINFORCING BARS B
3 X 3 X 1/4"	6'-0"	4'-6"	3'-0"	1
4 X 3 X 1/4"	8'-0"	6'-0"	4'-6"	1
5 X 3 X 5/16"	10'-0"	8'-0"	6'-0"	2
6 X 3 X 5/16"	14'-0"	9'-6"	7'-0"	2
2 1/2 X 3 X 5/16"	20'-0"	12'-0"	9'-6"	4

- LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION.
- DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8 IN. & ALL CELLS OF HOLLOW MASONRY LINTELS SHALL BE GROUTED SOLID. REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
- STEEL MEMBERS INDICATED ARE ADEQUATE TYPICAL EXAMPLES - OTHER STEEL MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED.

SITE NOTES

- FRONT SETBACK: 25.00'
- 28.50' AS CALCULATED BY REICHERT SURVEYING, INC.
- 24.43' TO PORCH AS CALCULATED BY REICHERT SURVEYING, INC.
- SIDE SETBACKS: 5.00' W/ TOTAL OF MIN. 14.00' MIN. 14.00' BETWEEN BLDGS.
- 7.77' & 6.02' AS CALCULATED BY REICHERT SURVEYING, INC.
- REAR SETBACK: 30'-0"
- HEIGHT RESTRICTION: MAX. 26.00' TO MID-POINT OF ROOF HEIGHT
- LOT COVERAGE: 40.00 percent
- MINIMUM OPEN SPACE: 30.00 percent
- MAXIMUM LOT COVERAGE: 7008.33sf
- LOT AREA: 1622.55sf
- ACTUAL LOT COVERAGE: 442.10sf
- HOUSE: 1622.55sf
- GARAGE: 442.10sf
- FRONT PORCH: 0.00sf
- OTHER/ CANTILEVERS: 13.51sf
- TOTAL: 2078.16sf
- COVERAGE PERCENTAGE: 29.45 percent



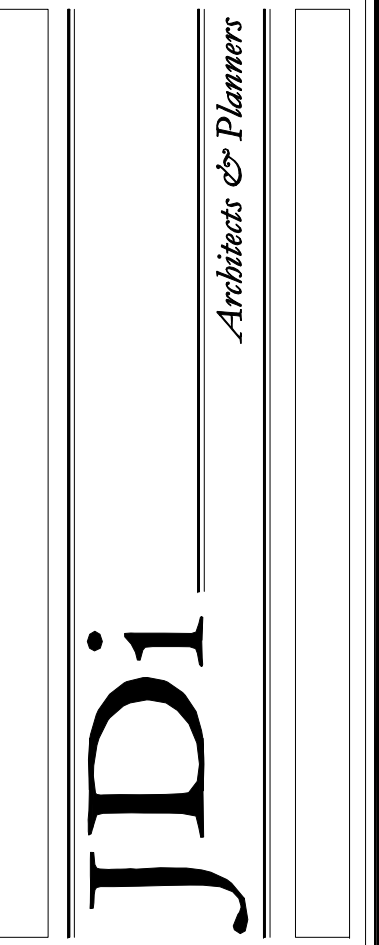
FRONT ELEVATION

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	ELEC	ELECTRIC or ELECTRICAL	JT	JOINT	R	RISER	T&G	TONGUE AND GROOVED
A/C	AIR CONDITIONING	ELEV	ELEVATION	JST	JOIST	REF	REFERENCE	TOC	TOP OF CONCRETE
ALT	ALTERNATE	EQ	EQUAL	KIT	KITCHEN	REFR	REFRIGERATOR	TOP	TOP OF FOUNDATION
ARCH	ARCHITECT or ARCHITECTURAL	EXH	EXHAUST	LAV	LAVATORY	REINF	REINFORCE or REINFORCED or REINFORCING	TYP	TYPICAL
BSMT	BASEMENT	EXT	EXTERIOR	LIT	LIGHT	UNF	UNFINISHED	UNF	UNFINISHED
BLK	BLOCK	FO	FACE OF	LNTL	LINTEL	RA	RETURN AIR	UNO	UNLESS NOTED OTHERWISE
BLKG	BLOCKING	FN	FINISH	LVR	LOUVER	REV	REVISIONS or REVISED	VERT	VERTICAL
BD	BOARD	FR	FLOOR or FLOORING	MFG	MANUFACTURE or MANUFACTURER	RD	ROOF DRAIN	WH	WATER HEATER
BLDG	BUILDING	FLR	FLOOR or FLOORING	MAS	MASONRY	RFG	ROOFING	WC	WATER CLOSET
CAB	CABINET	FD	FLOOR DRAIN	MATL	MATERIAL	RODM	ROD	WIN	WINDOW
CPT	CARPET	FLUOR	FLUORESCENT	MAX	MAXIMUM	RO	ROUGH OPENING	W/	WITH
CSMF	CASEMENT WINDOW	FTG	FOOTING	MECH	MECHANICAL	SCHED	SCHEDULE	W/O	WITHOUT
CLC	CEILING	FND	FOUNDATION	HC	MEDICINE CABINET	SD	SMOKE DETECTOR	WO	WOOD
CIR	CIRCLE	FUR	FURR or FURRED or FURRING	MIL	METAL	SECT	SECTION	WI	WROUGHT IRON
CIRC	CIRCUMFERENCE	GA	GAUGE	MIN	MINIMUM	SGD	SLIDING GLASS DOOR		
CLR	CLEAR or CLEARANCE	GDO	GARAGE DOOR OPENER	MIR	MIRROR	SHEATHING	SHEATHING		
COL	COLUMN	GFI	GROUND FAULT CIRCUIT	MISC	MISCELLANEOUS	SHT	SHEET		
CMU	CONCRETE MASONRY UNIT	GRW/W	GROUND FAULT CIRCUIT-WEATHER PROOF	MOD	MISCELLANEOUS	SH	SINGLE HUNG WINDOW		
CONC	CONCRETE	GL	GLASS GLAZING	MULL	MULLION	SM	SINGLE HUNG WINDOW		
CONST	CONSTRUCTION	GTP	GLASS TYPICAL	NIS	NOT TO SCALE	SL	SLIDING WINDOW		
CONT	CONTINUOUS	HTB	HYPHUM WALLBOARD or DRYWALL	OC	ON CENTER	SC	SOLID CORE		
CJ	CONTROL or CONSTRUCTION JOINT	HDW	HARDWARE	OA	OVERALL	SPKR	SPEAKER		
CU	CUBIC FOOT	HDR	HEADER	OH	OVERHEAD	SPEC	SPECIFICATIONS		
CY	CUBIC YARD	HVAC	HEATING-VENTILATING-AIR CONDITIONING	OPN	OPTIONAL	SG	SQUARE		
DET	DETAIL	HGT	HEIGHT	PB	PUSH BUTTON	STD	STANDARD		
DIA	DIAMETER	HCL	HOLLOW CORE	PNL	PANEL	STL	STEEL		
DM	DIMENSION	HORZ	HORIZONTAL	PAR	PARTITION	STR	STRUCTURAL		
DW	DISH WASHER	HB	HOSE BIBB	PED	PEDESTAL	STRCT	STRUCTURE		
DK	DOOR	INSUL	INSULATE or INSULATION	PL	PLATE	TEL	TELEPHONE		
DH	DOUBLE HUNG	INT	INTERIOR	PVC	POLYVINYL CHLORIDE	TV	TELEVISION		
DS	DOWNSPOUT			INT	INTERIOR	THR	THRESHOLD		

SQUARE FOOTAGE:

FIRST FLOOR: 1622.55 SQUARE FEET
SECOND FLOOR: 1956.08 SQUARE FEET
TOTAL: 3578.63 SQUARE FEET



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builder:
Babi Construction

project:
2630 Dorchester
Birmingham, Michigan

sheet description:
General Notes

DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY

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project number

drawn JDI

checked

approved

issued for date
review 2025-05-09

review 2025-05-12

sheet
G-0.0

PLAN NOTES:

- 1. DO NOT SCALE DRAWINGS. USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS NOTIFY THE ARCHITECT IMMEDIATELY FOR DIRECTION.
2. WINDOW SIZES NOTED IN PLAN & ELEVATION ARE ASSUMED ROUGH OPENING DENOTED IN INCHES, UNLESS NOTED OTHER. VARIATIONS TO BE VERIFIED WITH ARCHITECT.
3. BUILDER SHALL VERIFY W/ WINDOW MANUFACTURER THAT ALL EMERGENCY ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENABLE AREA AS REQUIRED PER CODE. WINDOWS NOT MEETING THE MINIMUM CODE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
4. ALL SMOKE DETECTORS TO BE INTER-CONNECTED W/ BATTERY BACKUP IN COMPLIANCE WITH 2015 MICHIGAN RESIDENTIAL BUILDING CODE.
5. A CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM.
6. PROVIDE MIN. (2) 2 X 4 STUD BLOCKING UNDER ALL POINT LOADS FROM ABOVE (UNLESS NOTED OTHERWISE).
7. IT IS THE RESPONSIBILITY OF THE BUILDER TO PROVIDE AND INSTALL AN HVAC SYSTEM THAT IS PROPERLY SIZED AS A TOTAL SYSTEM WITH THE BUILDING ENVELOPE TAKING INTO ACCOUNT FOUNDATION LOCATION AND SOLAR ORIENTATION. IT IS ALSO THE RESPONSIBILITY OF THE BUILDER TO PROVIDE EVIDENCE OF COMPLIANCE WITH THE PROVISIONS OF THE 2015 MICHIGAN UNIFORM ENERGY CODE.
8. BUILDER TO CONFIRM ALL FINISH FLOOR SELECTIONS FOR LOCATIONS, THICKNESS AND SETTING BED REQUIREMENTS. CONFIRM METHOD AND DIMENSIONS OF DROPPED FLOORS OR BUILT-UP OF OTHERS TO ACCOMMODATE ALL DISSIMILAR MATERIAL TRANSITIONS PRIOR TO ANY ROUGH FRAMING.
9. IF DOORS & WINDOWS ARE NOT DIMENSIONED THEY ARE ASSUMED TO BE EITHER IN THE CENTER OF THE WALL MASS OR MIN. 4 INCHES FROM PERPENDICULAR WALL FOR CASING.
10. FIRE SEPARATION: GARAGE SPACE BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOMS ABOVE BY NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT. ALL OTHER GARAGE SPACE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE.
11. USE OF GYPSUM BOARD AS THE BASE OR BACKER FOR ADHESIVE APPLICATION SHALL CONFORM TO ASTM C 430 OR C 1178. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT OR WHERE THERE WOULD BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. (SECTION R702.3.2-R702.3.1)
12. ALL INTERIOR PARTITION WALLS TO BE 3 1/2" STUD ONLY (UNLESS NOTED OTHERWISE)
13. ALL EXTERIOR WALLS TO BE 4" (3 1/2" STUD + 1/2" SHEATHING) OR 4" (5 1/2" STUD + 1/2" SHEATHING) (UNLESS NOTED OTHERWISE)
14. BUILDER TO CONFIRM AND COORDINATE EXACT FIREPLACE MANUFACTURER AND MODEL WITH MANUFACTURERS REQUIREMENTS.
15. BUILDER TO CONFIRM EXACT SLIDING DOOR PROVIDED AND COORDINATE ROUGH OPENING HEIGHT AND LOCATE ADJACENT WINDOW TO MATCH.
16. SECTION E902.1.1: ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE OUTLETS INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A COMBINATION TYPE OR BRANCH / FEEDER TYPE ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE ENTIRE ARC FAULT BRANCH CIRCUIT INTERRUPTER DEVICES SHALL BE COMBINATION TYPE (SEE N.E.C. FOR DETAILS). FOR EXPLANATION OF THE CODE, SEE SECTION R702.3.2.
17. WINDOW SILLS (R612.2) - WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE FINISHED GRADE, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW IS LOCATED 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH DIA. SPHERE CANNOT PASS. PER SECTION R612.2 OF MICHIGAN RESIDENTIAL CODE. WINDOW MANUFACTURER TO VERIFY.
18. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
19. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
20. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
21. PROVIDE DOUBLE 2x top PLATES AT ALL LOAD BEARING WALLS.
22. PROVIDE A 1/8" OR LARGER SOLID CORE WOOD DOOR. SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR. OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
23. PROVIDE 5/8" DRYWALL TYPE AT COMMON GARAGE WALLS.
24. PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
25. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
26. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GARAGE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 20" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
27. PROVIDE NECESSARY SHEATHING, SHORING, BRACING, AND ALL TEMPORARY SUPPORTS AS REQUIRED DURING EXCAVATIONS TO PROPERLY SUPPORT SIDES OF EXCAVATIONS. PER MIOSHA.
28. PROTECT ALL EXISTING WORK AND WORK IN PROGRESS.
29. COMPLY FULLY WITH REQUIREMENTS OF MIOSHA AND OTHER REGULATORY AGENCIES FOR ALL SAFETY PROVISIONS.
30. THE ROUGH CARPENTRY CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO THE START OF FABRICATION.
31. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
32. ROOF TRUSS MANUFACTURER TO SUPPLY THE ARCHITECT WITH TRUSS SHOP DRAWINGS PRIOR TO FABRICATION.
33. ALL WINDOW NUMBERS REFER TO GENERIC SIZES. IF A MANUFACTURER WITH VARYING SIZES IS USED, ALL SHAPES AND SIZES SHALL MATCH IN ALL DIMENSIONS. EVERY SLEEPING RM. SHALL BE PROVIDED WITH AN OPERABLE EGRESS WINDOW. THE SILL HEIGHT SHALL NOT BE MORE THAN 44" ABOVE THE FLOOR. THE WINDOW, WHEN OPEN, SHALL HAVE A NET CLEAR OPENING AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE AT LEAST 20" AND MINIMUM NET CLEAR OPENING HEIGHT OF AT LEAST 24" PER THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE, SECTION R308.
34. ALL MASONRY VENEER WALLS TO BE PROVIDED WITH WALL TIES AND WEEP HOLES PER CURRENT CODE. AS OUTLINED IN THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE SECTION R703.
35. ALL STAIRWAYS, STAIRWAY GUARDS, HANDRAILS, BALUSTERS, HEADROOM DIMENSIONS, RISERS AND TREADS SHALL COMPLY WITH ALL CODE REQUIREMENTS. AS OUTLINED IN THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE, SECTIONS R011 & R012.
36. PROPERLY VENTILATE ROOF SO THERE IS A CROSS-VENTILATION WITH ROOF VENTS AND SOFFIT VENTS PER SECTION R303 OF THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE. PROVIDE AN UNDERLAYMENT OF 15# FELT UNDER ASPHALT SHINGLES AND A LAYER OF GRAPE ICE AND WATER SHIELD FROM EAVE TO MIN. 24" PAST EXTERIOR WALL LINE OF BUILDING. SEE WALL SECTION FOR ICE SHIELD DETAIL.
37. THE CONTRACTOR SHALL PROVIDE WRITTEN CHANGE ORDERS DOCUMENTING ADDITIONAL WORK OR DELETION OF WORK, PRIOR TO THE CHANGE EFFORT ON THE JOB.
38. PROPERLY VENTILATE CRAWL SPACES PER STATE MECHANICAL CODE.
39. BATH FANS TO BE VENTED TO EXTERIOR
40. PROVIDE ELECTRICALLY POWERED SMOKE DETECTORS ON EACH LEVEL. IN EACH BEDROOM, AND BEDROOM HALLWAYS. UNITS ARE TO BE WIRED SO IF ONE SOUNDS, THEY ALL SOUND. ALL SHALL HAVE BATTERY BACK UP PER 2015 MICHIGAN RESIDENTIAL BUILDING CODE SECTION R514.
41. FIRESTOP ALL DROPS & CHASES, ELECTRICAL, PLUMBING & HEATING. APPROVED FIRESTOP MATERIAL REQUIRED FOR ALL DROPS & FLOOR OR CEILING PENETRATIONS AS OUTLINED IN 2015 MICHIGAN RESIDENTIAL BUILDING CODE.
42. TRUSS MANUFACTURER TO MAXIMIZE OPEN AREA IN ALL ATTIC TRUSSES.
43. ALL POINT LOADS FROM ROOF GIRDERS, JACK STUDS, OR BEAM SUPPORTS, WHETHER WOOD OR STEEL, CANNOT BEAR ONTO SHEATHING ALONE. PROVIDE BLOCKING EQUAL TO OR GREATER THAN THE POINT LOAD TO SUPPORT ABOVE. POINT LOAD SUPPORTS MUST BE CARRIED THROUGH ALL CONSTRUCTION TO THE FOUNDATION.
44. ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHALL REVIEW THE DRAWINGS AND INDICATE TO ARCHITECT, PRIOR TO FABRICATION, ANY CHANGE IN BEARING CONDITIONS THAT WOULD REQUIRE RE-BRACING OF OUR STRUCTURE TO ACCOMMODATE TRUSSES.
45. LOCATION OF GIRDER TRUSSES TO BE VERIFIED W/ FINAL TRUSS MANUFACTURER LAYOUT. ANY VARIATIONS OVER HEADERS FROM WHAT IS INDICATED TO BE VERIFIED WITH ARCHITECT.
46. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE HOUSE AND BE PAINTED TO MATCH THE ROOF COLOR.

FOUNDATION:

- 1. ALL POURED CONC. FTGS. SHALL TO A MINIMUM FROST DEPTH AS PRESCRIBED BY THE 2015 MICHIGAN RESIDENTIAL CODE AND/OR ANY LOCAL CODE ENFORCEMENT. FOOTINGS SHALL BEAR ON VIRGIN, UNDISTURBED SOIL. CONDITIONAL DEPTH MAY BE REQUIRED AS DICTATED BY SOIL CONDITIONS. ALLOWABLE SOIL BEARING PRESSURE OF 2000 P.S.F. AT EACH JOBSITE IS RESPONSIBILITY OF CONTRACTOR. QUESTIONABLE SOIL CONDITIONS ARE TO BE INVESTIGATED BY A QUALIFIED SOILS ENGINEER.
2. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION SO AS TO NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 4 INCHES WITHIN THE FIRST 10 FEET.
3. IN AREAS LIKELY TO HAVE EXPANSIVE, COMPRESSIBLE, SHIFTING OR OTHER UNKNOWN SOIL CHARACTERISTICS, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOILS CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST SHALL BE MADE BY AN APPROVED AGENCY USING AN APPROVED METHOD.
4. ALL FOOTING EXCAVATIONS SHALL BE NEAT, STRAIGHT, AND LEVEL IN THE PROPER ELEVATIONS TO RECEIVE THE CONCRETE. EXCESSIVE VARIATIONS IN THE DIMENSIONS OF FOOTINGS OR SLABS WILL NOT BE PERMITTED. REINFORCING STEEL AND MESH SHALL BE ACCURATELY PLACED AND SUPPORTED TO MAINTAIN THEIR POSITION DURING CONCRETE POURING. EDGE FORMS SHALL BE USED FOR CONCRETE THAT WILL BE EXPOSED.
5. FOUNDATION CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS ACCORDING TO SECTION R301 AND OF TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING SOIL. FILL SOILS THAT SUPPORT FOOTINGS AND FOUNDATIONS SHALL BE DESIGNATED, INSTALLED AND TESTED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. GRAVEL FILL USED AS FOOTINGS FOR WOOD AND PRECAST CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION R403.
6. PROVIDE VERTICAL REINFORCEMENT IN POURED CONCRETE WALLS AS REQUIRED PER THE 2015 MICHIGAN RESIDENTIAL CODE. THIS TABLE ESTABLISHES REINFORCEMENT REQUIREMENTS AS DETERMINED BY MAXIMUM WALL HEIGHT, MAXIMUM UNBALANCED WALL HEIGHT, ALONG WITH CONCRETE WALL THICKNESS & DETERMINATION OF SOIL CLASSIFICATION & DESIGN LATERAL SOIL PROPERTIES.
7. ALL SLAB PENETRATIONS ARE TO BE THE RESPONSIBILITY OF THE CONTRACTOR. PENETRATIONS INTERFERING WITH REINFORCING SHALL BE APPROVED BY THE ENGINEER OF RECORD PRIOR TO THE PLACEMENT OF CONCRETE.
8. ALL MASONRY CHIMNEY FOOTINGS SHALL HAVE A MINIMUM OF 12 INCH PROJECTION LARGER THAN FOOTPRINT BY 18 INCHES THICK.
9. CONCRETE AND MASONRY FOUNDATION WALLS THAT RETAIN EARTH AND ENCLOSE INTERIOR SPACES AND FLOORS BELOW GRADE SHALL BE DAMPROOFED OR WATERPROOFED FROM THE TOP OF THE FOOTING TO THE FINISHED GRADE PER SEC. R406.2015 MICHIGAN RESIDENTIAL CODE.
10. ALL POURED CONC. WALLS TO BE BACKFILLED WITH SUITABLE TYPE BACKFILL MATERIAL THAT IS NOT WET CLAY OR IN FROZEN CHUNKS AND BE WELL BRACED UNTIL CONC. IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE. BACKFILL SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE
11. WHERE DISCREPANCIES BETWEEN SOILS REPORT AND STRUCTURAL DRAWINGS OCCUR, CONTACT THE STRUCTURAL ENGINEER.
12. FINISH GRADE SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURE.
13. SURFACE WATER TO DRAIN AWAY FROM STRUCTURE. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET (2% FOR IMPERVIOUS SURFACES) IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
14. GARAGE SLAB SHALL SLOPE A MIN. OF 2" AWAY FROM STRUCTURE.
15. CONCRETE SToops AND PORCH/PATIO SLABS SHALL SLOPE A MIN. OF 1/4" PER FOOT AWAY FROM STRUCTURE.
16. POURED WALL CONTRACTOR TO PROVIDE FOR A 20'-0" LONG (1/2" DIA. - #4 REBAR) ROD INTO FOOTING AND UP THROUGH POURED WALL NEAR ELECTRICAL SERVICE LOCATION FOR GROUNDING OF ELECTRICAL SERVICE. ROD SHALL LEAVE WALL ON EXTERIOR NEAR TOP OF WALL APPROX. 18" BELOW PROPOSED GRADE. LEAVE APPROX. 24" EXPOSED OUTSIDE OF CONC. WALL. FINAL LOCATION TO BE DETERMINED BY BUILDER IN FIELD.
17. ALL FILL SHALL BE CLEAN COARSE SAND COMPACTED TO 95% BY HEAVY VIBRATORY ROLLER IN MAXIMUM LIFTS OF 8". CONFORM TO ASTM D 1557.
18. GRADING, SOIL PREPARATION AND FOUNDATION CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE 2015 MIRC.
19. PROVIDE MIN. 6 MIL. APPROVED VAPOR BARRIER, ALL JOINTS TO BE LAPPED MIN. 12" AND SEALED.
20. BASEMENT WALLS ARE DESIGNED TO SPAN VERTICALLY FROM THE BASEMENT SLAB TO THE FLOOR DECK. THEREFORE, THE BASEMENT WALLS SHALL NOT BE BACKFILLED UNTIL THE BASEMENT SLAB AND FIRST FLOOR DECK ARE COMPLETED.
21. NO MODIFICATIONS TO THE FOUNDATION WALL DESIGN (SUCH AS ADDING A BLOCK) SHALL BE ALLOWED WITHOUT PRIOR CONSENT FROM THE DESIGNER.

CONCRETE:

- 1. CONCRETE SHALL BE 2000 PSI IN 28 DAYS UNLESS NOTED OTHERWISE. NO CONCRETE SHALL BE POURED IN TEMPERATURES BELOW 40 DEGREES FAHRENHEIT (UNLESS HEAT TO BE PROVIDED DURING THE CURING) FOR TWO DAYS. EXTEND ALL FOOTINGS TO MINIMUM FROST DEPTH PER THE 2015 MICHIGAN RESIDENTIAL CODE AND/OR ANY LOCAL CODE ENFORCEMENT.
2. ADD CONCRETE REINFORCEMENT SUPPORT PER R506.2.4 OF THE 2015 MICHIGAN RESIDENTIAL CODE FOR ALL SLABS ON GROUND. TO ENSURE THAT REINFORCEMENT SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO UPPER ONE THIRD OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT.
3. ALL REBAR SPLICES SHALL BE A MINIMUM OF "2'-0" UNLESS NOTED OTHERWISE.
4. REINFORCING STEEL BARS SHALL BE DEFORMED IN ACCORDANCE WITH ASTM A305 AND/OR A408 AND FORMED OF ASTM A615/68 GRADE 60 STEEL, WELDED WIRE FABRIC REINFORCING TO BE ASTM A 685 STEEL WIRE. ACCESSORIES SHALL CONFORM TO THE CRSI "MANUAL OF STANDARD PRACTICE". THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED OVER REINFORCING BARS:
a. EXPOSED TO EARTH "
b. EXPOSED TO WEATHER 1 1/2"
c. SLABS NOT EXPOSED TO WEATHER
d. BEAMS AND COLUMNS 1 1/2"
5. ALL REINFORCING BARS, ANCHOR BOLTS, MUDDILL ANCHORS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
6. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING. DO NOT CUT ANY REINFORCING WHICH MAY CONFLICT.
7. CONCRETE PLACEMENT SHALL BE PER RECOMMENDATIONS IN ACI 414 (ACI 301) AND 318. FOR CONTROL JOINTS IN SLABS, SPACE SAW CUTS AT MAXIMUM 12 FEET ON CENTER FOR 4" SLAB DEPTH UNLESS OTHERWISE NOTED ON THE DRAWINGS. SAW CUTS SHALL NOT BE PLACED PARALLEL UNDER BEARING WALLS.

STRUCTURAL STEEL:

- 1. ALL STRUCTURAL STEEL SHAPES, PLATES, BARS, ETC. ARE TO BE ASTM A-36 (UNLESS NOTED OTHERWISE) DESIGNED AND CONSTRUCTION PER THE LATEST EDITION OF THE AISC "MANUAL OF STEEL CONSTRUCTION". ALL WIDE FLANGE AND CHANNELS SHALL CONFORM TO ASTM A992 F11-30 KS1, F14-53 KS1.
2. ALL STEEL PIPE COLUMNS SHALL BE ASTM A501, F11-36 KS1. ALL STRUCTURAL TUBING SHALL BE ASTM A500, GRADE B, F11-45 KS1.
3. ALL WELDED CONNECTIONS SHALL CONFORM WITH THE LATEST AWS D1.1 "STRUCTURAL WELDING CODE". AND SHALL UTILIZE E70XX ELECTRODES UNLESS OTHERWISE WELDED SHALL BE DONE BY CERTIFIED WELDERS.
4. ALL BOLTED CONNECTIONS SHALL UTILIZE ASTM A-325 BOLTS TIGHTENED TO A "SNUG TIGHT" CONDITION (UNLESS NOTED OTHERWISE).
5. THE STEEL ERECTOR IS SOLELY RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL TEMPORARY GUYS, BRACES, FALSEWORK, CRIBBING AND OTHER ELEMENTS REQUIRED FOR THE SAFE AND PROPER INSTALLATION OF ALL BUILDING ELEMENTS UNTIL THE STRUCTURE IS PERMANENTLY BRACED. THE FABRICATOR AND ERECTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH OSHA REQUIREMENTS.
6. ALL EXPOSED STRUCTURAL STEEL SHALL BE COATED WITH RUST PREVENTIVE FINISH. THE MINIMUM PLATE THICKNESS SHALL BE 3/8". MINIMUM BOLT DIAMETER SHALL BE 3/4". MINIMUM WELD SHALL BE 1/4".

FRAMING:

- NO 15 ASPHALT FELT. FREE FROM HOLES AND BREAKS, COMPLYING WITH ASTM D 226 FOR TYPE 1 FELT OR OTHER APPROVED WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS. SUCH FELT OR MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER. FELT OR OTHER APPROVED VERIFICATION OF ALLOWABLE SOIL BEARING CAPACITY OF 2000 P.S.F. AT EACH JOBSITE IS RESPONSIBILITY OF CONTRACTOR. QUESTIONABLE SOIL CONDITIONS ARE TO BE INVESTIGATED BY A QUALIFIED SOILS ENGINEER.
2. ALL WOOD JOISTS AND OPEN WEB JOISTS MUST BE BRACED IN ACCORDANCE WITH MANUFACTURERS DIRECTIONS PER DETAILS SHOWN ON PLANS. LOAD BEARING PARTITIONS, JACKS, BEAMS AND COLUMN SUPPORTS MUST BE SOLID BLOCKED THROUGH FLOOR TO A BEAM OR FOUNDATION BELOW. JOISTS, TRUSSES, PLYWOOD AND T&G O.S.B. CANNOT CARRY CONCENTRATED POINT LOADS. ALL POINT LOADS MUST BE CARRIED TO FOUNDATION WITH BLOCKING AND/OR BEAMS. NOTE: ALL BEAMS AND DOUBLE JOISTS, ETC. HAVE BEEN SHOWN FOR A LOAD BEARING PURPOSE. PLACEMENT OF THE LOAD CARRIERS MEMBERS SHOWN IN THE PLANS IN LOCATIONS OTHER THAN UNDER THE STRUCTURAL ELEMENT THEY ARE INTENDED TO CARRY IS THE RESPONSIBILITY OF THE CONTRACTOR. EXACT BEAM LOCATIONS ARE NOT TO BE SCALED FROM THE FRAMING PLANS.
3. WOOD STUD WALL CONSTRUCTION REQUIREMENTS BASED EXPOSURE TO WIND SPEEDS OF 100 MPH OR LESS
EXTERIOR WALL CONSTRUCTION (W/ 1/2" EXTERIOR SHEATHING):
WALLS SUPPORTING A ROOF ONLY:
HEIGHT IN FEET MINIMUM FRAME REQUIREMENT
12 FEET OR LESS 2 X 4 @ MAX. 16" O.C.
OVER 12 FEET 2 X 6 @ MAX. 16" O.C.
WALLS SUPPORTING ONE FLOOR AND A ROOF:
HEIGHT IN FEET MINIMUM FRAME REQUIREMENT
10 FEET OR LESS 2 X 4 @ MAX. 16" O.C. OR 2 X 4 @ 12" O.C.
OVER 10 FEET 2 X 6 @ MAX. 16" O.C.
WALLS SUPPORTING TWO FLOORS AND A ROOF:
HEIGHT IN FEET MINIMUM FRAME REQUIREMENT
WALLS UP TO 14 FEET 2 X 6 @ MAX. 16" O.C.
NOTE:
SEE SPECIAL DESIGN OR ENGINEER FOR WALL CONSTRUCTION TALLER THAN 20 FEET. WHEN OPENINGS IN WALLS EXCEED 6 FEET IN WIDTH OR IF THE WALL CANNOT BE CONSTRUCTED USING ANY OF THE METHODS.
4. SEE TABLE R602.3(1) OF THE CODE FOR A FASTENER SCHEDULE FOR STRUCTURAL MEMBERS.
5. WOOD BEAMS SHALL BE SUPPORTED BY METAL HANGERS OF ADEQUATE CAPACITY WHERE FRAMING INTO BEAMS OR LEDGERS. THE ALLOWABLE LOAD CAPACITY OF THE HANGER SHALL BE EQUAL TO OR GREATER THAN THE LOAD SPECIFIED ON THE PLAN. WHERE NO LOAD IS SPECIFIED THE "LIGHTEST" AVAILABLE HANGER FOR THE APPLICATION IS ACCEPTABLE.
6. ALL STRUCTURAL FRAMING LUMBER EXPOSED DIRECTLY TO THE WEATHER OR BRACED DIRECTLY ON EXTERIOR MASONRY PIERS OR CONCRETE SHALL BE TREATED. ALL WOOD IN CONTACT WITH THE GROUND IS TO BE GROUND CONTACT APPROVED. ALL WOOD EXPOSED DIRECTLY TO THE WEATHER SHALL BE PROTECTED TO PREVENT THE OCCURRENCE OF ROT.
7. PROVIDE WIND BRACINGS IN CONFORMANCE WITH 2015 MICHIGAN RESIDENTIAL CODE.
8. CONCRETE SToops AND DETAILS ARE FOR REFERENCE ONLY, AND ALL FLOOR SYSTEMS AND DETAILS SHALL BE VERIFIED WITH I-JOIST MANUFACTURER LAYOUT PLAN THAT IS COORDINATED WITH APPROVED ROOF TRUSS LAYOUT.
9. ALL HOLES NOTCHES CUT OR BORED INTO I-JOISTS OR L.V.L.S TO BE IN ACCORDANCE WITH MANUFACTURERS REQUIREMENTS.
10. FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN LOCATIONS PER SEC. R602.8 OF 2015 MICHIGAN RESIDENTIAL CODE.
11. NOTICES IN SOLID LUMBER JOISTS, RAFTERS AND BEAMS SHALL NOT EXCEED ONE-SIXTH OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH OF THE DEPTH OF THE MEMBER. THE TENSION SIDE OF MEMBERS 4 INCHES OR GREATER IN NOMINAL THICKNESS SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2 INCHES TO THE TOP OR BOTTOM OF THE MEMBER, OR TO ANY OTHER HOLE LOCATED IN THE MEMBER, WHERE THE MEMBER IS ALSO NOTCHED. THE HOLE SHALL NOT BE CLOSER THAN 2 INCHES TO THE NOTCH.
12. FRAMING LUMBER SHALL BE SURFACE DRY AND USED AT 19% MAXIMUM MOISTURE CONTENT. ALLOWABLE STRESS REQUIREMENTS OF ALL WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE 2005 EDITION OF THE NDS SUPPLEMENT TABLES 4A, 4D AND 5A.
13. ALL FRAMING LUMBER USED FOR EXTERIOR WALLS OR INTERIOR BEARING WALLS SHALL BE SPLICED PINE FIR OR SOUTHERN YELLOW PINE CONSTRUCTION GRADE NUMBER 2 OR BETTER. LUMBER IN CONTACT WITH GROUND, CONCRETE, OR MASONRY SHALL BE SOLID SOUTHERN PINE PRESSURE TREATED SPLICED PINE FIR GROUP 15, ACCEPTABLE FOR ON-BEARING INTERIOR PARTITIONS.
13.1. ALL BEARING WALLS SHALL USE GRADE NO. 2 OR BETTER FOR STUDS AND POSTS
13.2. ALL PLATES AND NON-BEARING COMPONENTS SHALL USE GRADE NO. 3 OR BETTER.
14. ENGINEERED LUMBER SHALL BE LEVEL PRODUCTS OR EQUAL. TYPE, SIZE PER PLANS. MULTIPLE PILES TO BE NAILED AS PER MANUFACTURERS REQUIREMENTS.
15. ALL EXTERIOR WALLS ARE TO BE CONSIDERED BRACED WALLS U.N.O. NAL AND BLOCK AS NECESSARY FOR BRACED WALLS.

FLASHING:

- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS.
1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING UPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS
7. AT BUILT-IN GUTTERS.

MASONRY:

- EXECUTION: MASONRY UNITS SHALL BE LAID IN A RUNNING BOND PATTERN UNLESS NOTED OTHERWISE. THE WALLS SHALL BE CARRIED UP LEVEL AND PLUMB WITHIN THE TOLERANCES SPECIFIED IN ACI 601-88, SECTION 2.3.3.2. IF NONSTANDARD DIMENSIONS ARE ENCOUNTERED, BLOCK SHALL BE CUT WITH A MASONRY SAW TO FIT, NOT BY STRETCHING OR SHRINKING JOINTS. UNFINISHED WORK SHALL BE STEPPED BACK FOR JOINING WITH NEW WORK. TOOTHING WILL NOT BE PERMITTED EXCEPT WHERE SPECIFICALLY APPROVED. DAMAGE UNITS ARE TO BE CUT OUT AND NEW UNITS SET IN PLACE.
2. THE FILLED CELLS AND BOND BEAM BLOCKS OF REINFORCED MASONRY WALLS ARE TO BE FILLED WITH ASTM C476-91 GROUT OF 3/4" GRAVEL MIX FOR MASONRY WITH MINIMUM COMPRESSIVE STRESS OF 3000 PSI.
3. UNITS (R703.2.3) MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE. VENEER ABOVE OPENINGS SHALL BE SUPPORTED ON UNITS OF NON-COMBUSTIBLE MATERIALS AND THE ALLOWABLE SPAN SHALL NOT EXCEED THE VALUES SET FORTH IN THE TABLE (R703.2.3.1). THE UNITS SHALL HAVE A LENGTH OF BEARING OF NOT LESS THAN 4 INCHES.
4. MORTAR: ASTM C270-95 TYPE S PREPACKAGED MORTAR MIX WHICH SHALL NOT CONTAIN ANY NON-CEMENTITIOUS FILLERS COMBINED WITH NOT MORE THAN THREE PARTS SAND PER ONE PART MK.
5. MASONRY VENEER SUPPORT:
a. WHERE MASONRY VENEER IS SUPPORTED BY A STEEL ANGLE, A MINIMUM 6" X 4" X 5/16" STEEL ANGLE SHALL BE PLACED WITH THE LONG LEG VERTICAL. THE ANGLE SHALL BE ANCHORED TO DOUBLE 2 X 4 STUD CONSTRUCTION AT MAXIMUM 16" ON CENTER WITH (2) 7/16" X 4" LAG SCREWS. A MINIMUM OF 2/3 OF THE O.A. THICKNESS OF THE MASONRY VENEER MUST BEAR ONTO THE STEEL ANGLE. THE HEIGHT OF THE MASONRY VENEER ABOVE THE STEEL ANGLE SHALL NOT EXCEED 12'-8". FLASHING AND WEEP HOLES SHALL BE LOCATED IN THE MASONRY VENEER IN ACCORDANCE WITH FIGURE R703.7.2.1 OF THE 2006 MICHIGAN RESIDENTIAL CODE. THE AIR SPACE BETWEEN MASONRY VENEER AND WOOD BACKING SHALL BE A MINIMUM OF 1 INCH BUT IS NOT TO EXCEED 4 1/2 INCHES. ROOF CONSTRUCTION WITH SLOPES FROM 7/12 TO 12/12 SHALL REQUIRE THE ADDITION OF MIN. 3 INCH X 3 INCH X 1/4" STEEL PLATE STOPS WELDED TO STEEL ANGLE AT MAXIMUM 24" O.C. OR PER BUILDING OFFICIALS APPROVAL.
b. WHERE MASONRY VENEER IS SUPPORTED BY ROOF CONSTRUCTION, A STEEL ANGLE IS PLACED DIRECTLY ON TOP OF ROOF CONSTRUCTION AND NOT ATTACHED TO ABUTTING VERTICAL WALL CONSTRUCTION. THE SUPPORTING CONSTRUCTION FOR THE STEEL ANGLE SHALL CONSIST OF (3) 2 X 4 WOOD MEMBERS. THE (3) WOOD MEMBERS SHALL BE ANCHORED TO ABUTTING VERTICAL WALL CONSTRUCTION WITH A MINIMUM OF 3 5/8" DIA. X 3" LAG SCREWS TO EVERY WOOD STUD SPACE AND EACH ADDITIONAL ROOF MEMBER SHALL BE ANCHORED BY (3) 10d NAILS AT EACH STUD SPACING. A MINIMUM OF 2/3 OF THE O.A. THICKNESS OF THE MASONRY VENEER MUST BEAR ONTO THE STEEL ANGLE. THE HEIGHT OF THE MASONRY ABOVE THE STEEL ANGLE SHALL NOT EXCEED 12'-8". FLASHING AND WEEP HOLES SHALL BE LOCATED IN THE MASONRY VENEER IN ACCORDANCE WITH FIGURE R703.7.2.2 OF THE 2006 MICHIGAN RESIDENTIAL CODE. THE AIR SPACE BETWEEN MASONRY VENEER AND WOOD BACKING SHALL BE A MINIMUM OF 1 INCH BUT IS NOT TO EXCEED 4 1/2 INCHES. ROOF CONSTRUCTION WITH SLOPES FROM 7/12 TO 12/12 SHALL REQUIRE THE ADDITION OF MIN. 3 INCH X 3 INCH X 1/4" STEEL PLATE STOPS WELDED TO STEEL ANGLE AT MAXIMUM 24" O.C. OR PER BUILDING OFFICIALS APPROVAL.
6. A FLASHING INSPECTION IS REQUIRED PRIOR TO THE INSTALLATION OF A FULL WALL OF BRICK, AND SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE.
7. ALL MASONRY VENEER WALLS TO BE PROVIDED WITH WALL TIES & WEEP HOLES PER CURRENT CODES INCLUDING COMPLIANCE WITH THE 2015 MICHIGAN RESIDENTIAL CODE WHEN INSTALLING STONE AND MASONRY VENEERS.

ROOF CONSTRUCTION:

- WOOD TRUSSES
a. DESIGN - WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH APPROVED ENGINEERING PRACTICE, THE DESIGN AND MANUFACTURE OF METAL PLATE CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSI/TPI 1. THE TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY A REGISTERED PROFESSIONAL WHERE REQUIRED BY THE STATUTES OF THE JURISDICTION IN WHICH THE PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION R104.1.
b. BRACING - TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIED BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH THE BUILDING COMPONENT SAFETY INFORMATION (BCSI) (1-03) GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED TO WOOD TRUSSES.
2. ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHALL REVIEW THE DRAWINGS AND INDICATE TO ARCHITECT, PRIOR TO FABRICATION, ANY CHANGE IN BEARING CONDITIONS THAT WOULD REQUIRE RE-FRAMING OF OUR STRUCTURE TO ACCOMMODATE TRUSSES.
3. TRUSSES SHALL BE CONNECTED TO WALL PLATES BY THE USE OF APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 170# AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. PER (SECTION R802.10.3 OF 2009 INTERNATIONAL RESIDENTIAL CODE).
4. ALL ROOF TRUSSES MUST BE BUILT IN ACCORDANCE WITH TRUSS MANUFACTURERS REQUIREMENTS. WHEN ROOF TRUSS MANUFACTURERS DO NOT PROVIDE THE REQUIRED CONNECTORS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ROOF TRUSS ENGINEER OR THE ARCHITECT TO PROVIDE AN ADEQUATE CONNECTOR.
5. TRUSS MANUFACTURER TO HOLD TRUSS LENGTH BACK 1/2" FROM EA. END (FOR SHEATHING TO EXTEND PAST PLATE)
6. TOP PLATE HEIGHTS MAY VARY. SEE BUILDING SECTIONS, WALL SECTIONS AND ELEVATIONS FOR BEARING HEIGHTS.
7. TRUSS SPACING SHALL BE 24" O.C. MAX. UNLESS OTHERWISE NOTED.
8. FRAME WALLS UP TO UNDERSIDE OF ROOF TRUSSES AT ALL NON-BEARING WALLS AND AT VOLUME AREA UNLESS OTHERWISE NOTED.
9. ALIGN TRUSSES AND HAND FRAMING SO ALL GYPSUM WALL BOARD WILL BE CONTINUOUS FROM FLOOR TO CEILING.
11. PROVIDE BRACING AND BLOCKING PER HB-91 IN ADDITION TO BRACING AND BLOCKING SHOWN ON PLANS.
12. TRUSS MANUFACTURER SHALL PROVIDE INSTALLATION DETAILS INCLUDING THE BRACING OF ALL GABLE TRUSS.

ELEVATION NOTES:

- PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT THE NUMBER OF ROOF PENETRATIONS. ALL ROOF PENETRATIONS SHALL OCCUR TO THE REAR OF THE HOUSE AND BE PAINTED TO MATCH THE ROOF COLOR.
4. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE. ADJACENT STRUCTURES AND COMMON PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FACADE OF HOUSE OR ALONG FRONT FACING PORCH COLUMNS.
5. BUILDER TO CONFIRM AND COORDINATE ALL WINDOW VENTING
6. WINDOW SILLS (R612.2) - WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72 INCHES ABOVE FINISHED GRADE, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24 INCHES SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4-INCH DIA. SPHERE CANNOT PASS. PER SECTION R612.2 OF THE 2015 MICHIGAN RESIDENTIAL CODE. WINDOW MANUFACTURER TO VERIFY.

FLASHING:

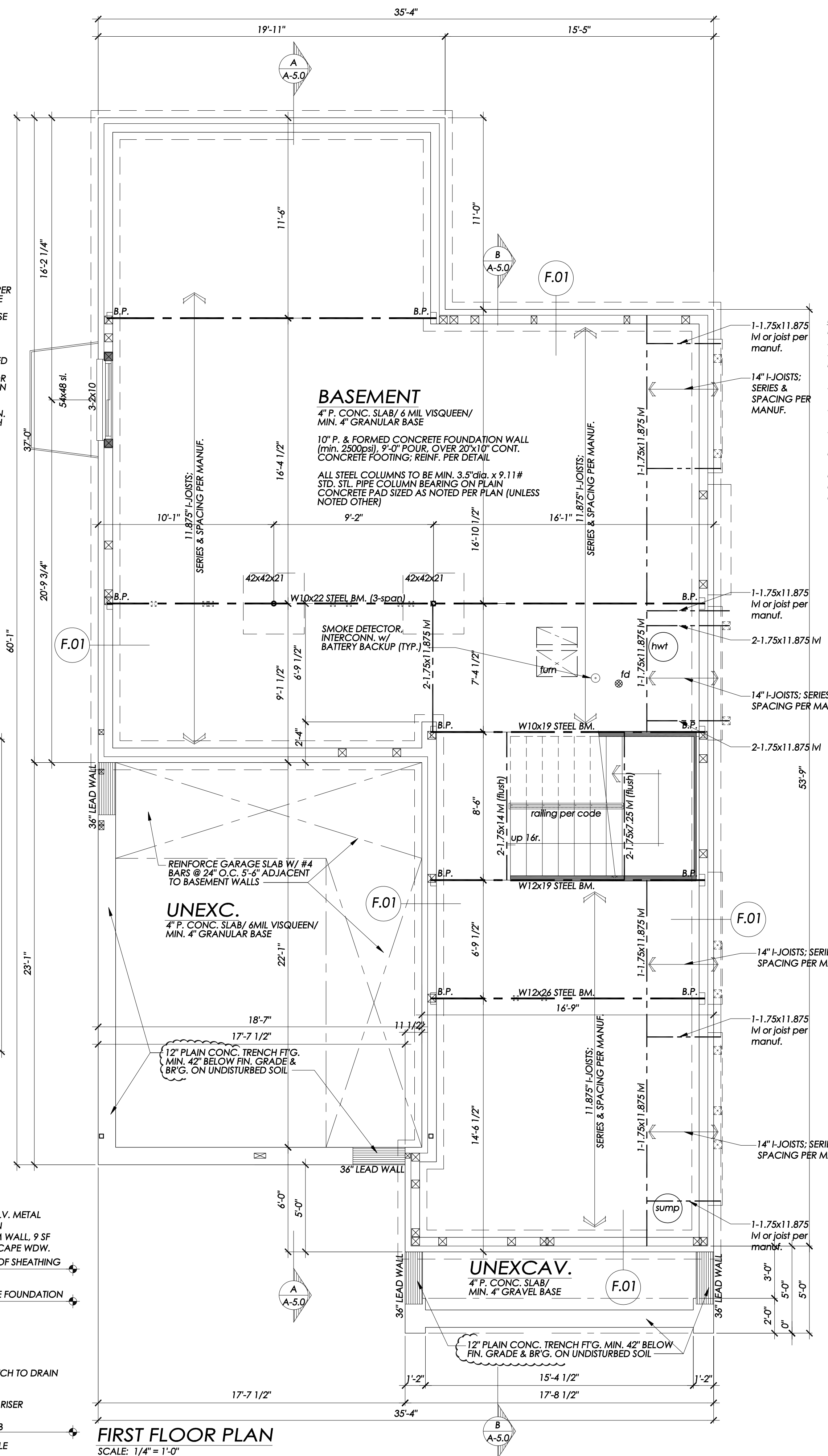
- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS.
1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER FOR SUBSEQUENT DRAINAGE.
2. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING UPS ON BOTH SIDES UNDER STUCCO COPINGS.
3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.
5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD-FRAME CONSTRUCTION.
6. AT WALL AND ROOF INTERSECTIONS
7. AT BUILT-IN GUTTERS.

MASONRY:

- EXECUTION: MASONRY UNITS SHALL BE LAID IN A RUNNING BOND PATTERN UNLESS NOTED OTHERWISE. THE WALLS SHALL BE CARRIED UP LEVEL AND PLUMB WITHIN THE TOLERANCES SPECIFIED IN ACI 601-88, SECTION 2.3.3.2. IF NONSTANDARD DIMENSIONS ARE ENCOUNTERED, BLOCK SHALL BE CUT WITH A MASONRY SAW TO FIT, NOT BY STRETCHING OR SHRINKING JOINTS. UNFINISHED WORK SHALL BE STEPPED BACK FOR JOINING WITH NEW WORK. TOOTHING WILL NOT BE PERMITTED EXCEPT WHERE SPECIFICALLY APPROVED. DAMAGE UNITS ARE TO BE CUT OUT AND NEW UNITS SET IN PLACE.
2. THE FILLED CELLS AND BOND BEAM BLOCKS OF REINFORCED MASONRY WALLS ARE TO BE FILLED WITH ASTM C476-91 GROUT OF 3/4" GRAVEL MIX FOR MASONRY WITH MINIMUM COMPRESSIVE STRESS OF 3000 PSI.
3. UNITS (R703.2.3) MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE. VENEER ABOVE OPENINGS SHALL BE SUPPORTED ON UNITS OF NON-COMBUSTIBLE MATERIALS AND THE ALLOWABLE SPAN SHALL NOT EXCEED THE VALUES SET FORTH IN THE TABLE (R703.2.3.1). THE UNITS SHALL HAVE A LENGTH OF BEARING OF NOT LESS THAN 4 INCHES.
4. MORTAR: ASTM C270-95 TYPE S PREPACKAGED MORTAR MIX WHICH SHALL NOT CONTAIN ANY NON-CEMENTITIOUS FILLERS COMBINED WITH NOT MORE THAN THREE PARTS SAND PER ONE PART MK.
5. MASONRY VENEER SUPPORT:
a. WHERE MASONRY VENEER IS SUPPORTED BY A STEEL ANGLE, A MINIMUM 6" X 4" X 5/16" STEEL ANGLE SHALL BE PLACED WITH THE LONG LEG VERTICAL. THE ANGLE SHALL BE ANCHORED TO DOUBLE 2 X 4 STUD CONSTRUCTION AT MAXIMUM 16" ON CENTER WITH (2) 7/16" X 4" LAG SCREWS. A MINIMUM OF 2/3 OF THE O.A. THICKNESS OF THE MASONRY VENEER MUST BEAR ONTO THE STEEL ANGLE. THE HEIGHT OF THE MASONRY VENEER ABOVE THE STEEL ANGLE SHALL NOT EXCEED 12'-8". FLASHING AND WEEP HOLES SHALL BE LOCATED IN THE MASONRY VENEER IN ACCORDANCE WITH FIGURE R703.7.2.1 OF THE 2006 MICHIGAN RESIDENTIAL CODE. THE AIR SPACE BETWEEN MASONRY VENEER AND WOOD BACKING SHALL BE A MINIMUM OF 1 INCH BUT IS NOT TO EXCEED 4 1/2 INCHES. ROOF CONSTRUCTION WITH SLOPES FROM 7/12 TO 12/12 SHALL REQUIRE THE ADDITION OF MIN. 3 INCH X 3 INCH X 1/4" STEEL PLATE STOPS WELDED TO STEEL ANGLE AT MAXIMUM 24" O.C. OR PER BUILDING OFFICIALS APPROVAL.
b. WHERE MASONRY VENEER IS SUPPORTED BY ROOF CONSTRUCTION, A STEEL ANGLE IS PLACED DIRECTLY ON TOP OF ROOF CONSTRUCTION AND NOT ATTACHED TO ABUTTING VERTICAL WALL CONSTRUCTION. THE SUPPORTING CONSTRUCTION FOR THE STEEL ANGLE SHALL CONSIST OF (3) 2 X 4 WOOD MEMBERS. THE (3) WOOD MEMBERS SHALL BE ANCHORED TO ABUTTING VERTICAL WALL CONSTRUCTION WITH A MINIMUM OF 3 5/8" DIA. X 3" LAG SCREWS TO EVERY WOOD STUD SPACE AND EACH ADDITIONAL ROOF MEMBER SHALL BE ANCHORED BY (3) 10d NAILS AT EACH STUD SPACING. A MINIMUM OF 2/3 OF THE O.A. THICKNESS OF THE MASONRY VENEER MUST BEAR ONTO THE STEEL ANGLE. THE HEIGHT OF THE MASONRY ABOVE THE STEEL ANGLE SHALL NOT EXCEED 12'-8". FLASHING AND WEEP HOLES SHALL BE LOCATED IN THE MASONRY VENEER IN ACCORDANCE WITH FIGURE R703.7.2.2 OF THE 2006 MICHIGAN RESIDENTIAL CODE. THE AIR SPACE BETWEEN MASONRY VENEER AND WOOD BACKING SHALL BE A MINIMUM OF 1 INCH BUT IS NOT TO EXCEED 4 1/2 INCHES. ROOF CONSTRUCTION WITH SLOPES FROM 7/12 TO 12/12 SHALL REQUIRE THE ADDITION OF MIN. 3 INCH X 3 INCH X 1/4" STEEL PLATE STOPS WELDED TO STEEL ANGLE AT MAXIMUM 24" O.C. OR PER BUILDING OFFICIALS APPROVAL.
6. A FLASHING INSPECTION IS REQUIRED PRIOR TO THE INSTALLATION OF A FULL WALL OF BRICK, AND SHALL COMPLY WITH THE 2015 MICHIGAN RESIDENTIAL CODE.
7. ALL MASONRY VENEER WALLS TO BE PROVIDED WITH WALL TIES & WEEP HOLES PER CURRENT CODES INCLUDING COMPLIANCE WITH THE 2015 MICHIGAN RESIDENTIAL CODE WHEN INSTALLING STONE AND MASONRY VENEERS.

GLAZING:

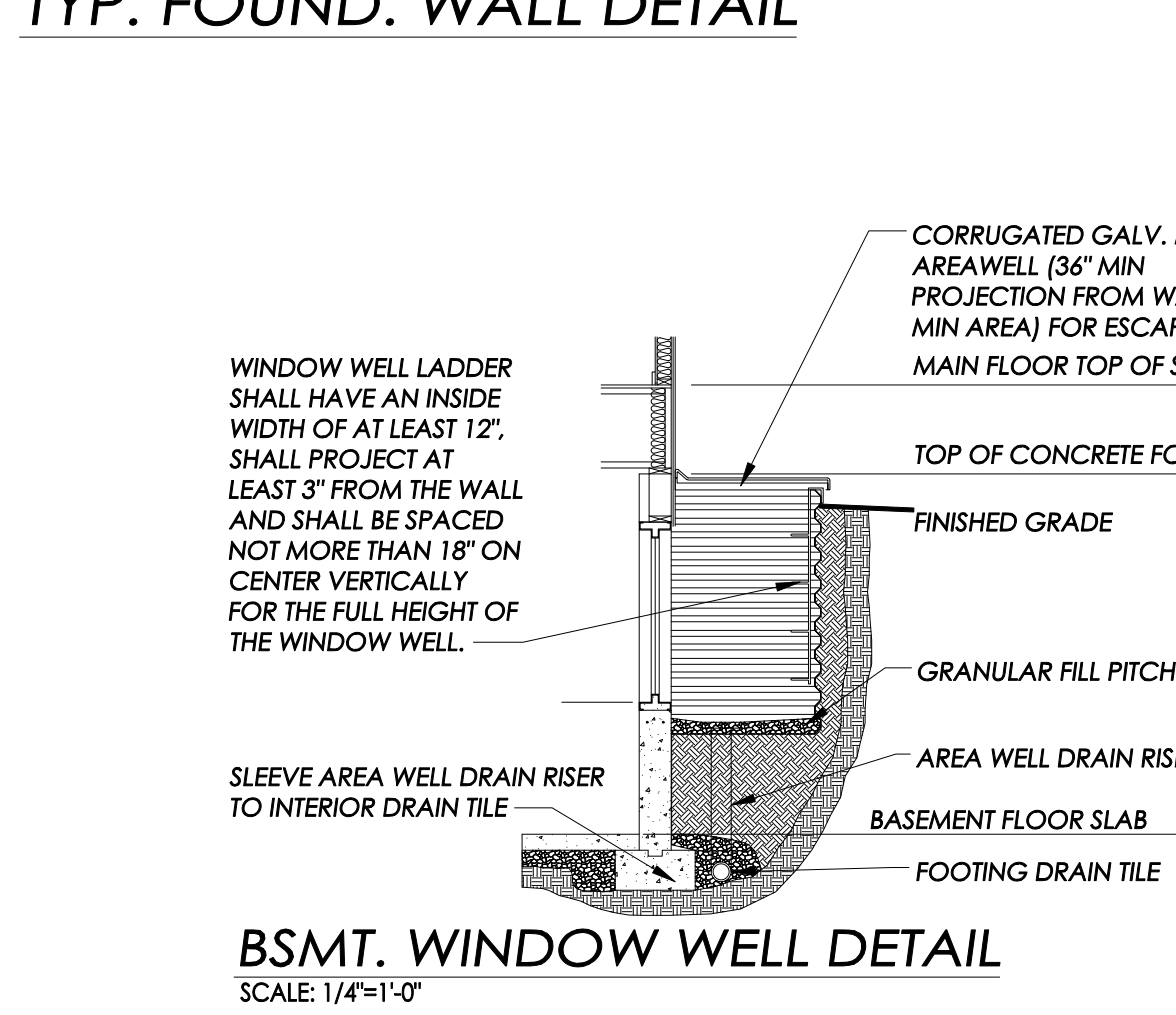
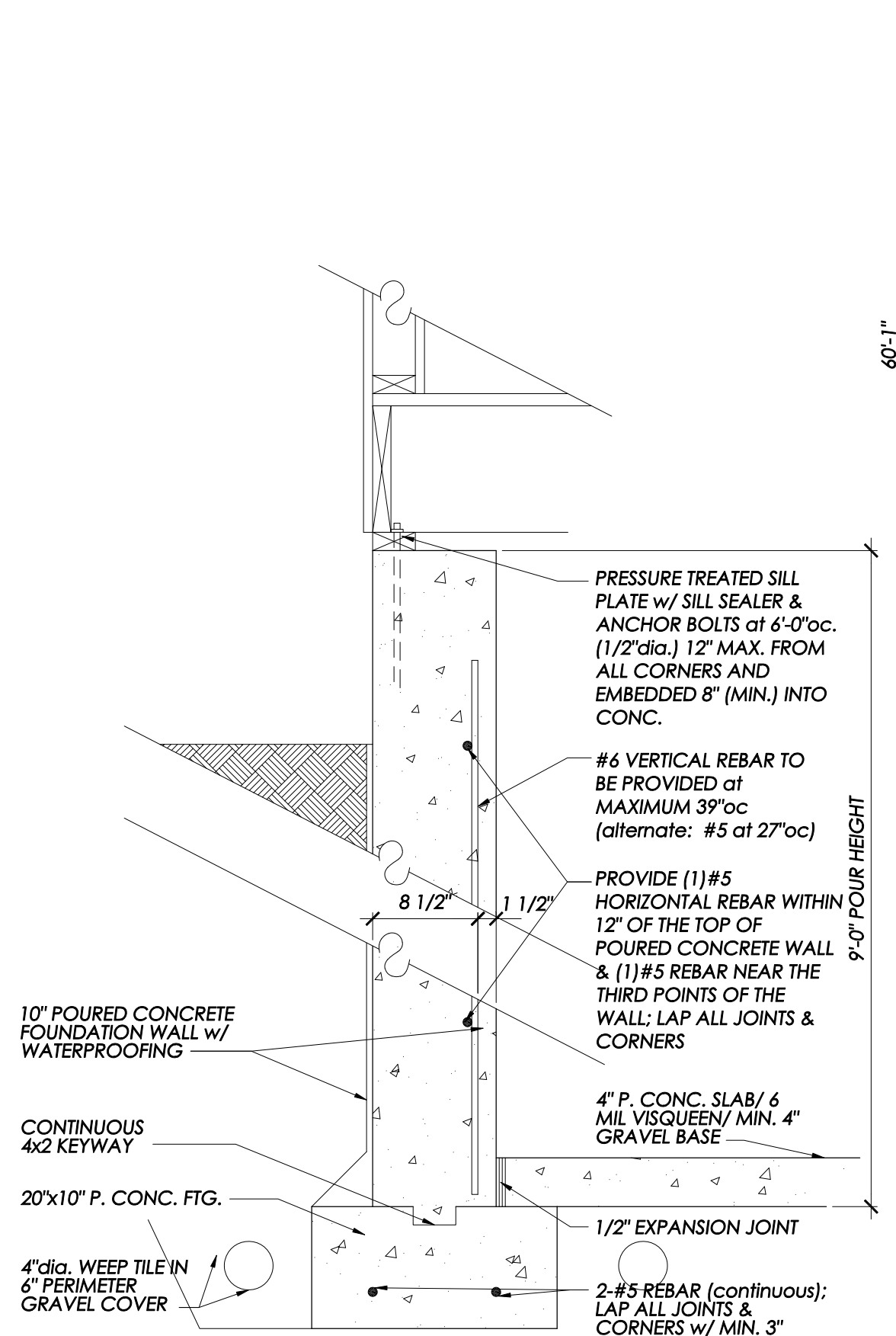
- SAFETY GLAZING TO BE REQUIRED AT THE FOLLOWING LOCATIONS PER THE 2015 MICHIGAN RESIDENTIAL CODE.
1.1. FIXED OR OPERABLE GLAZING ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN 24" OF THE DOOR AND WHOSE UNITS ARE WITHIN 66" ABOVE THE WALKING SURFACE.
1.2. GLAZING FOR DOORS & ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS & SHOWERS.
1.3. GLAZING AT ALL BATHS.
1.4. FIXED OR OPERABLE GLAZING WITH AN EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET WITH THE BOTTOM EDGE LESS THAN 18" ABOVE THE FLOOR AND THE TOP EDGE GREATER THAN 36" ABOVE THE FLOOR WITH A WALKING SURFACE WITHIN 36" OF THE GLAZING.
2. MINIMUM EGRESS WINDOW REQUIREMENTS PER THE 2015 MICHIGAN RESIDENTIAL CODE.
2.1. MINIMUM NET OPENING OF 5.0 SQUARE FEET AT FIRST FLOOR BEDROOMS (6.7 SQUARE FEET AT SECOND FLOOR BEDROOMS)
2.2. MINIMUM NET OPENING HEIGHT OF 24" AND WIDTH OF 20"
2.3. SILL HEIGHT TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR
3. EGRESS WINDOW REQUIREMENTS:
3.1. MIN. NET CLEAR OPENING OF 5.7 SQ. FT. (SECOND FLOOR BEDROOMS)
3.2. MIN. NET CLEAR OPENING OF 5.0 SQ. FT. (FIRST FLOOR BEDROOMS ONLY)
3.3. MIN. NET CLEAR OPENING HT. OF 24 INCHES
3.4. MIN. NET CLEAR OPENING WIDTH OF 20 INCHES
3.5. MAX. SILL HT. ABOVE FINISH FLOOR OF 44 IN



PRE-FABRICATED WINDOW WELL PER CODE; BILCO OR OTHER; PROVIDE DRAIN AT BASE CONNECTED TO HOUSE DRAIN TILE BELOW; FILL BASE W/ PEA GRAVEL DOWN TO FOUNDATION BELOW

WINDOW WELLS w/ A BASE GREATER THAN 44" BELOW FINISHED GRADE TO BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION.

WINDOW WELL TO PROVIDE A MIN. NET CLEAR AREA OF 9 SQ. FT. WITH A MIN. HORIZ. PROJECTION AND WIDTH OF 36".



I-JOIST NOTES:
DOCUMENTATION SUPPLIED BY I-JOIST MANUFACTURER/SUPPLIER SUPERCEDES ARCHITECTURAL LAYOUT. VERIFY INCONSISTANCIES W/ ARCHITECT IMMEDIATELY

MAX. LIVE LOAD DEFLECTION = L/480

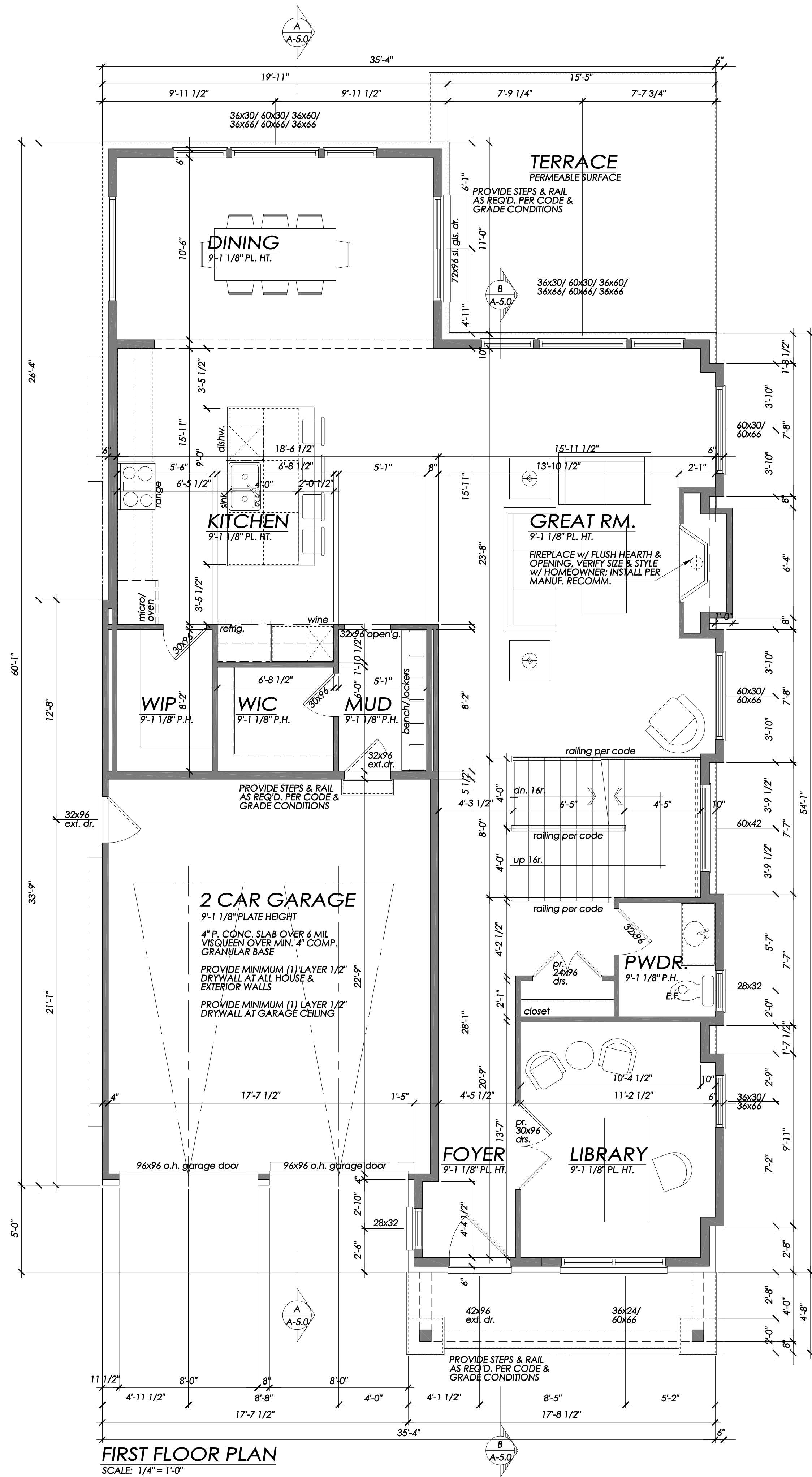
MAX. TOTAL LOAD DEFLECTION = L/360

MAX. LIVE LOAD DEFLECTION = L/720 (AREAS TO BE MARBLE OR GRANITE - VERIFY W/ HOMEOWNER)

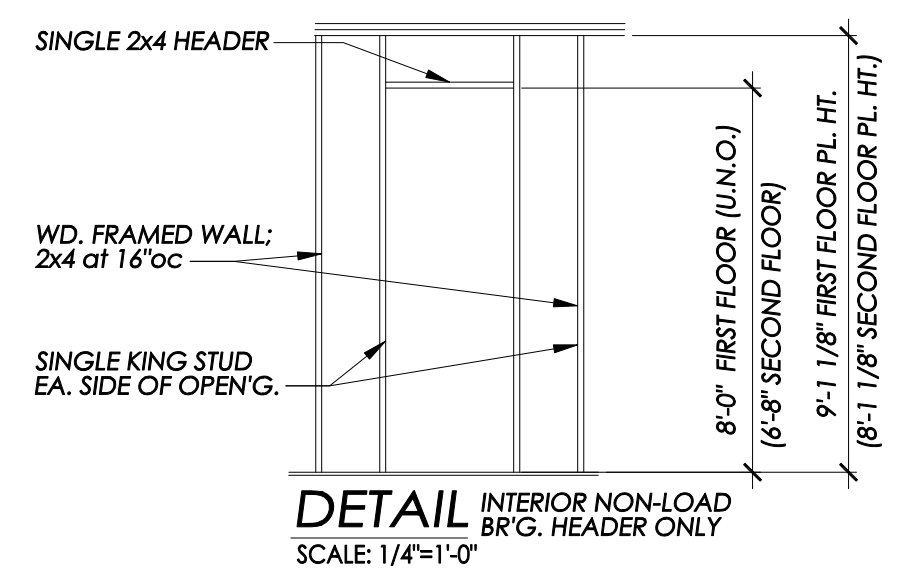
FIRST FLOOR LOADING:
LIVE LOAD: 40 LBS./SQ. FT.
DEAD LOAD: 15 LBS./SQ. FT.
TOTAL LOAD: 55 LBS./SQ. FT.

NOTE:
ALL TRENCH FOOTINGS LOCATED ADJACENT TO Poured BASEMENT WALLS TO BE CONTINUOUS DOWN TO CONT. P. CONC. FOOTING AT WALL BASE FOR A MINIMUM DISTANCE OF 3'-0" FROM THE BASEMENT WALL

ALL FOOTINGS ARE DESIGNED FOR 2000 P.S.F. IT IS THE RESPONSIBILITY OF THE BUILDER TO FIELD TEST THE SOIL AND TO CONTACT THE ARCHITECT AND/OR ENGINEER IF THE SOIL CAPACITY IS UNDER 2000 P.S.F.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



JDi
Architects & Planners

JDi-Architecture.com
Macomb Twp, MI
586.604.9343

Project: 2630 Dorchester
Birmingham, Michigan

builder: Babi Construction

sheet description: First Floor Plans

DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY

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project number

drawn JDI

checked

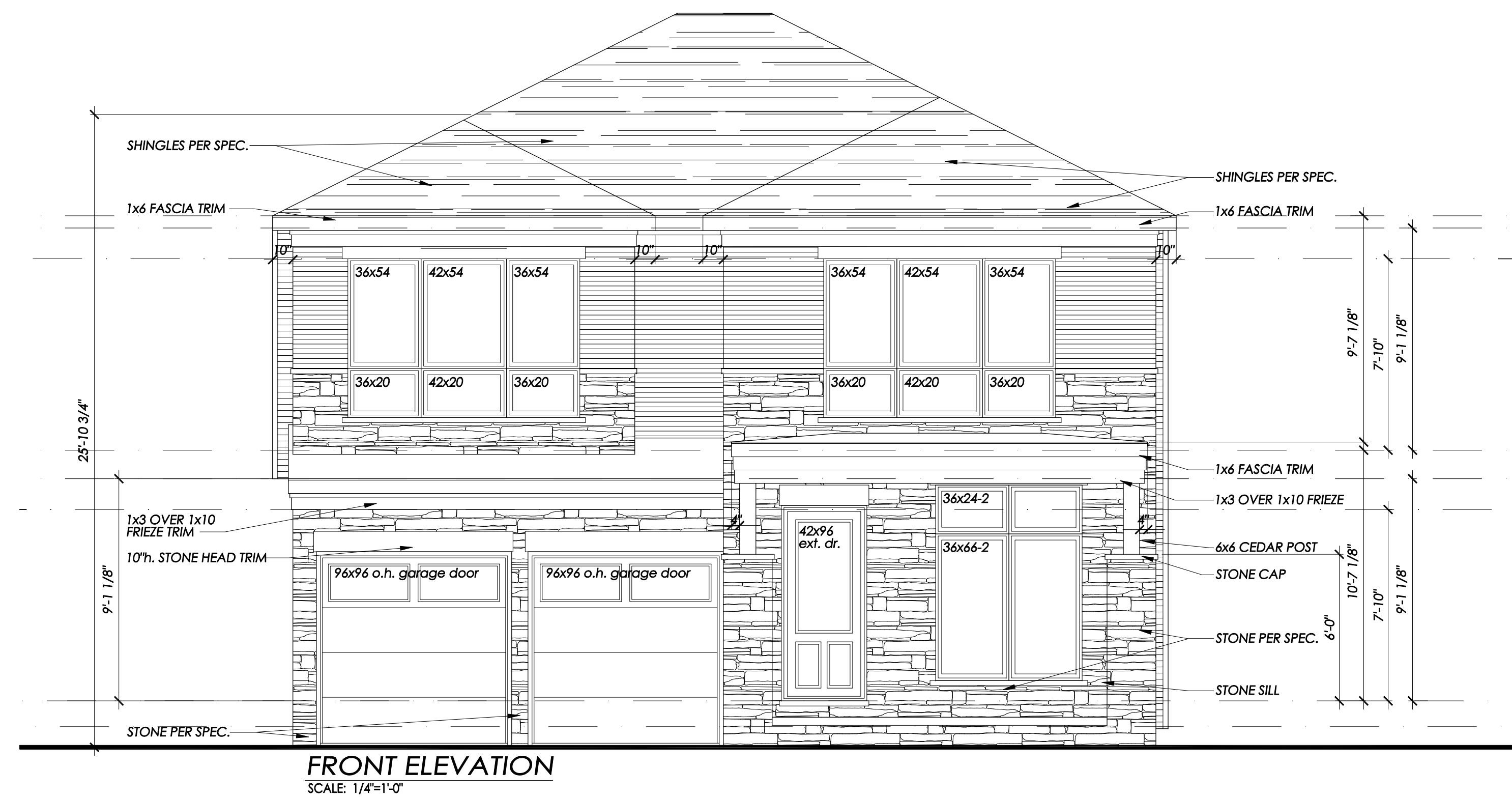
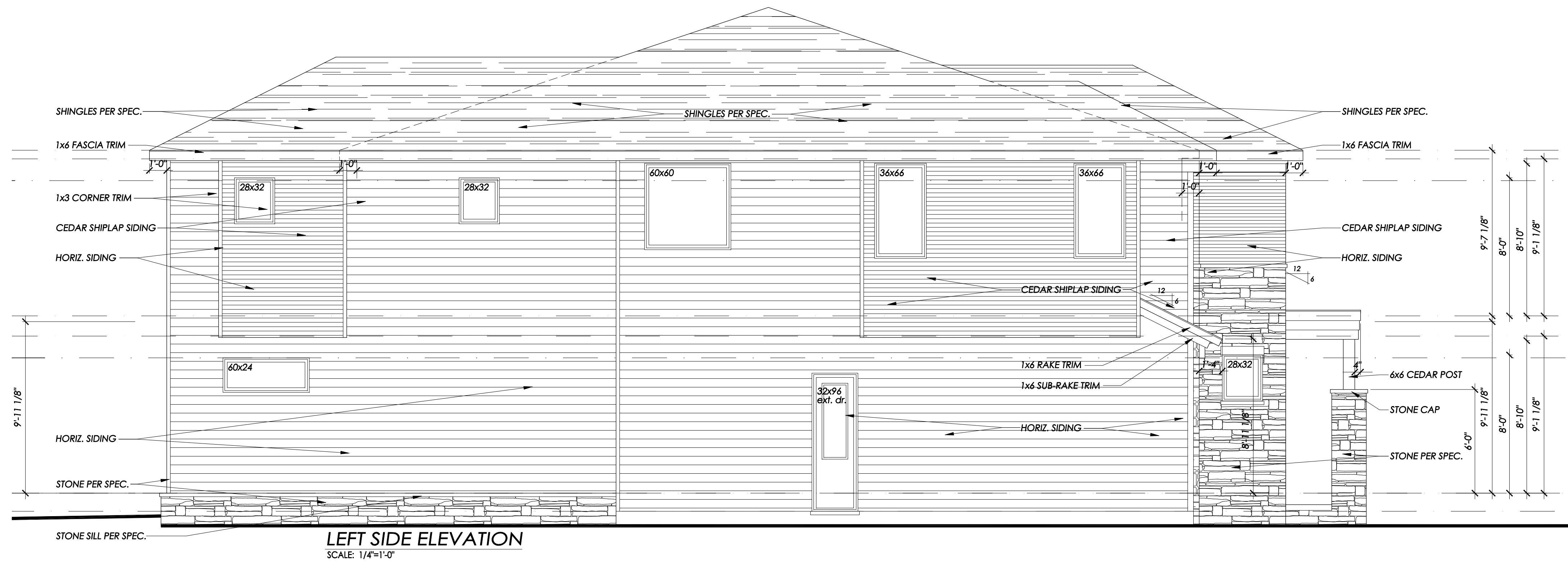
approved

issued for date

review 2025-0509

review 2025-0512

sheet **A-1.0**



Architects & Planners

JDi

JDi-Architecture.com
Macomb Twp, MI
586.604.9343

Project: 2630 Dorchester
Birmingham, Michigan

Builder: Babi Construction

Sheet description: Elevations & Roof Plan

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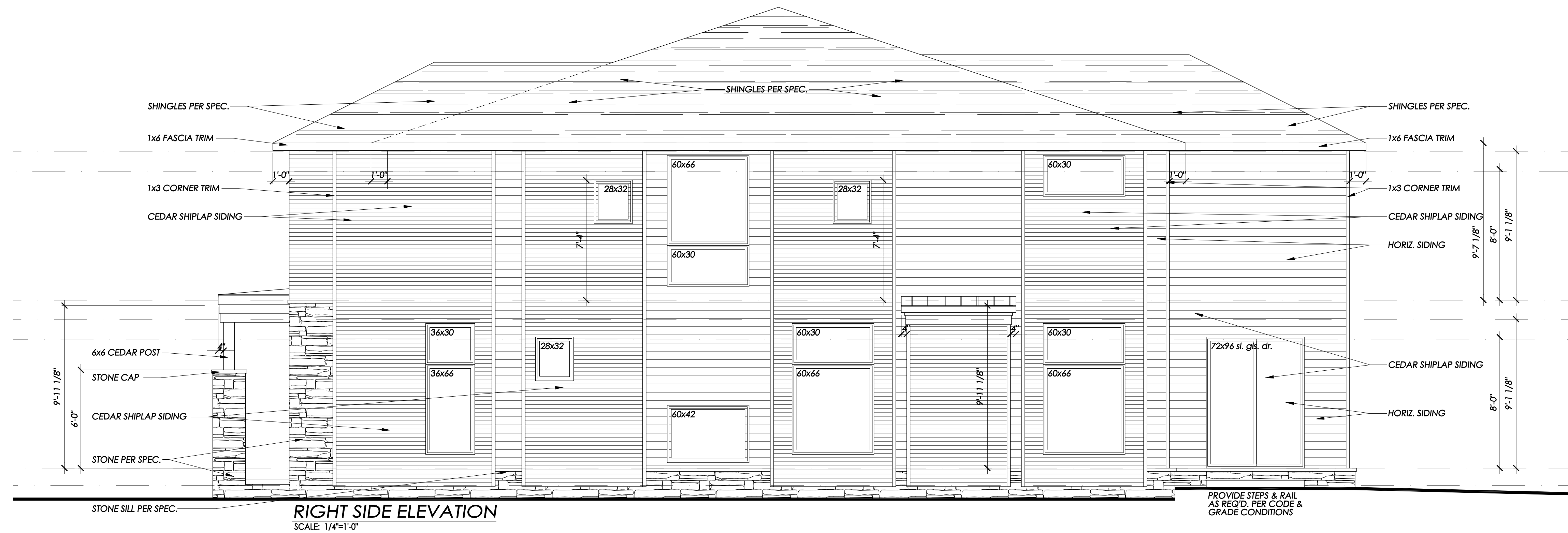
drawn JDI

checked

approved

issued for date
review 2025-0509
review 2025-0512

sheet A-3.0



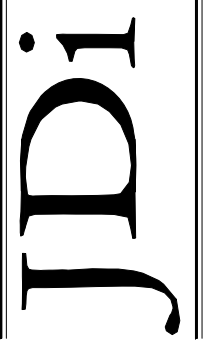
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

PROVIDE STEPS & RAIL
AS REQ'D, PER CODE &
GRADE CONDITIONS



REAR ELEVATION
SCALE: 1/4"=1'-0"

PROVIDE STEPS & RAIL
AS REQ'D, PER CODE &
GRADE CONDITIONS



JDi
Architects & Planners

JDi-Architecture.com
Macomb Twp, MI
586.604.9343

Project: 2630 Dorchester
Birmingham, Michigan

Builder: Babi Construction

Sheet description: Elevations

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project number

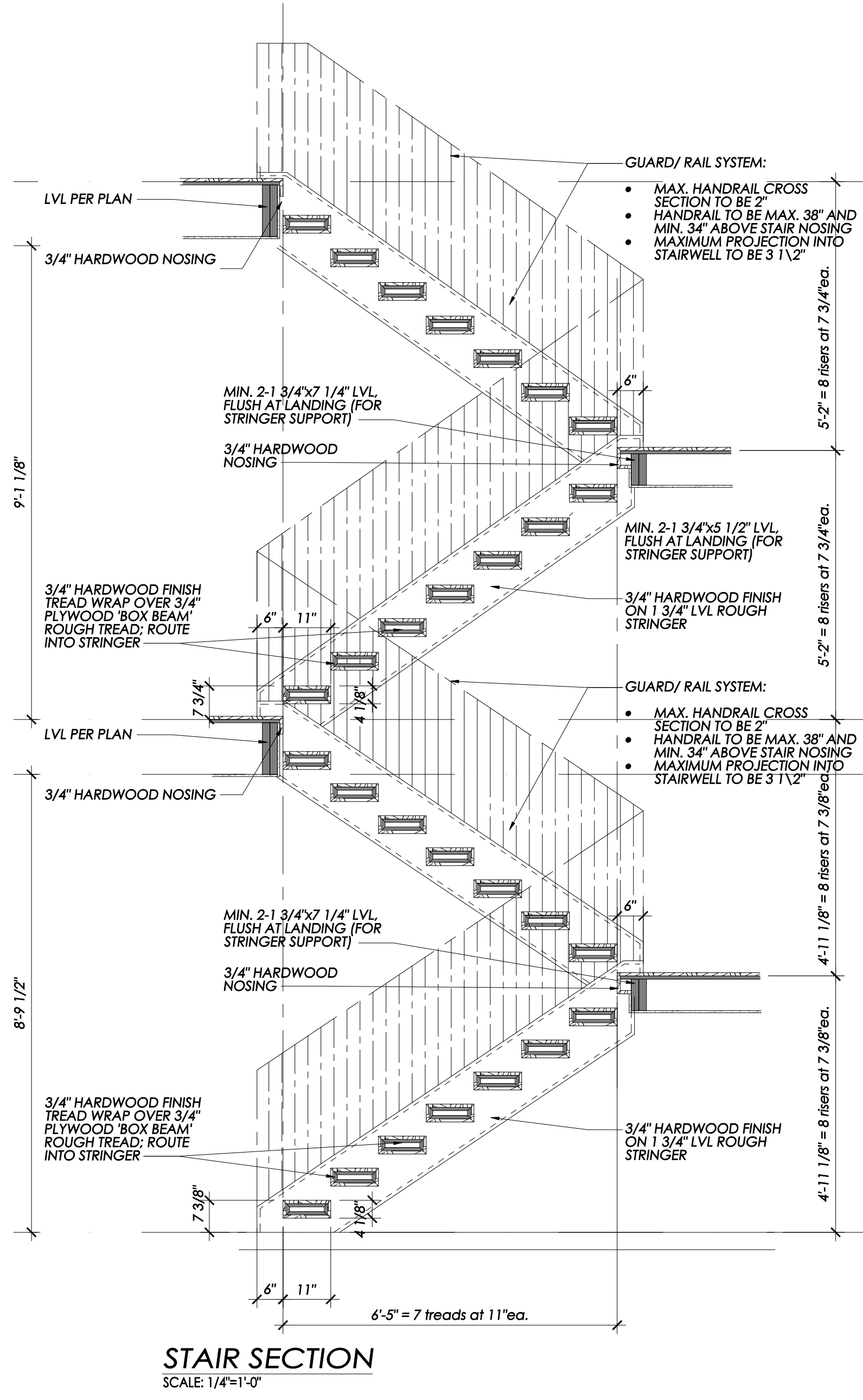
drawn JDI

checked

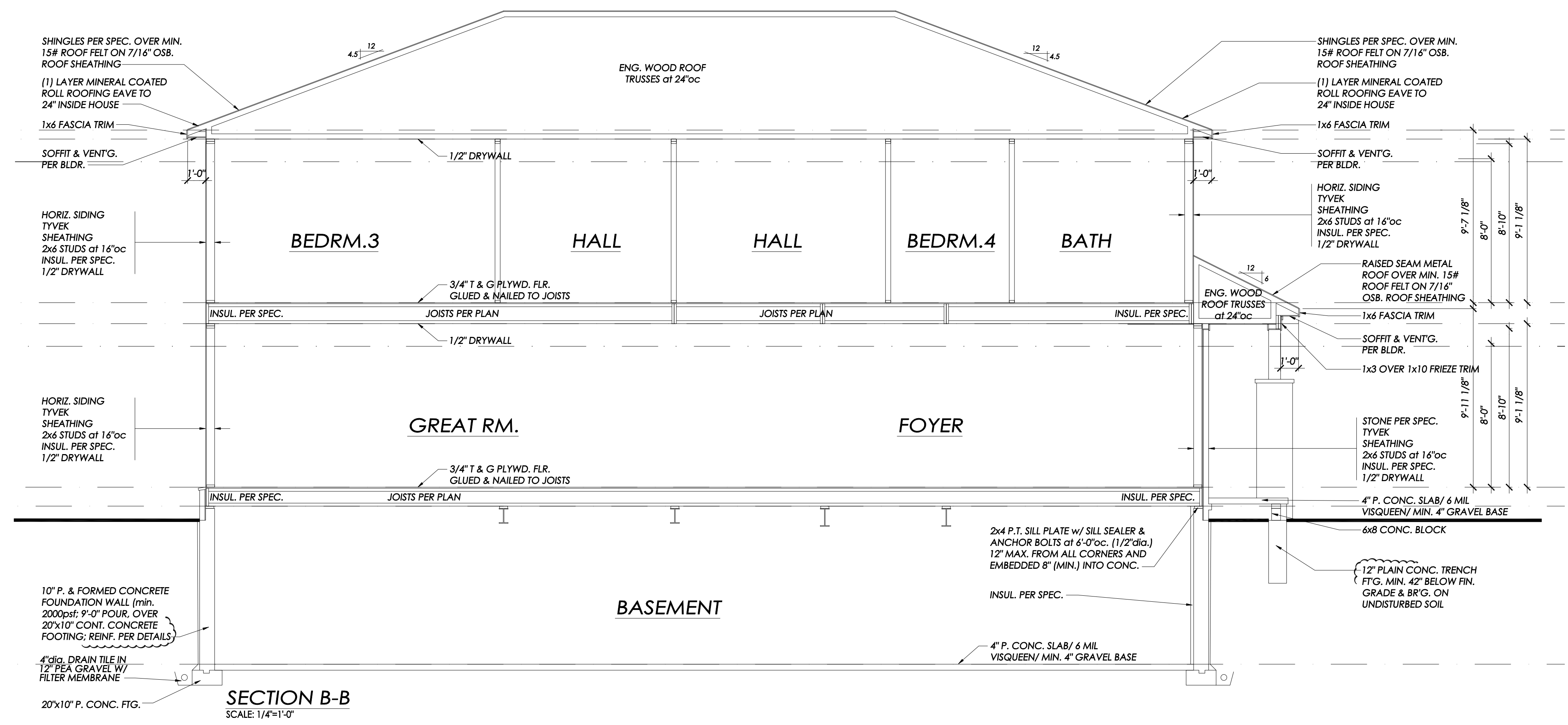
approved

issued for date
review 2025-0509
review 2025-0512

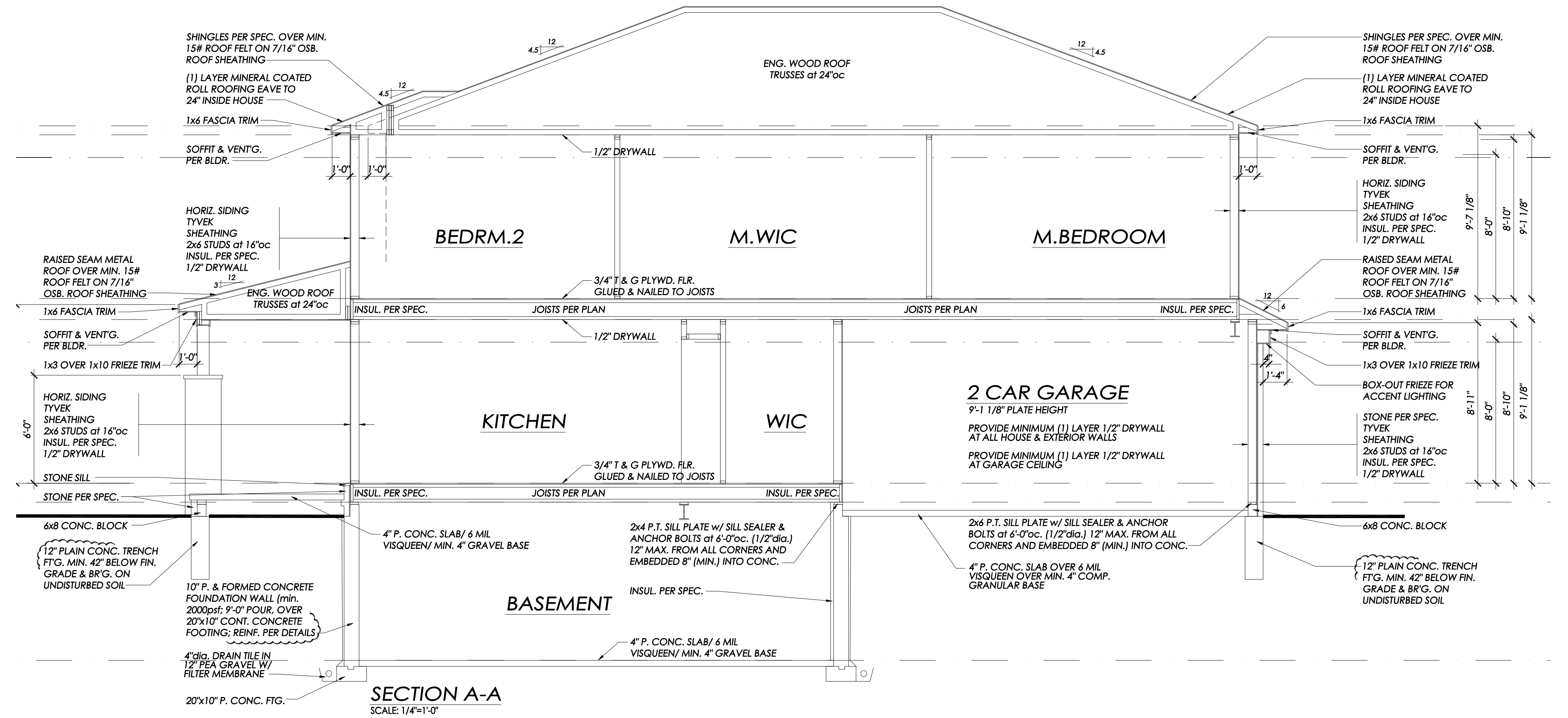
sheet A-4.0



STAIR SECTION
SCALE: 1/4"=1'-0"



SECTION B-B
SCALE: 1/4"=1'-0"



SECTION A-A
SCALE: 1/4"=1'-0"

Architects & Planners

JDi

JDi-Architecture.com
Macomb Twp, MI
586.604.9343

builder: Babi Construction

project: 2630 Dorchester
Birmingham, Michigan

sheet description: Sections & Details

DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY

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project number

drawn JDi

checked

approved

issued for date

review 2025-0509

review 2025-0512

sheet A-5.0

CASE DESCRIPTION

1998 Hazel (25-18)

Hearing date: July 8, 2025

Appeal No. 25-18: The owner of the property known **1998 Hazel**, requests the following variances to construct a new home:

A. Chapter 126, Article 4, Section 4.74(C) of the Zoning Ordinance requires that a minimum distance between principal residential buildings on adjacent lots to be 14.00 feet or 25% of the lot width, whichever is larger. The required is 14.00 feet. The proposed is 10.00 feet. Therefore, a variance of 4.00 feet is requested on the west side.

Staff Notes: The applicant is looking to construct a new house with an attached garage on a corner lot.

This property is zoned R2 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS
Building Official

CHAPTER 126 - ZONING

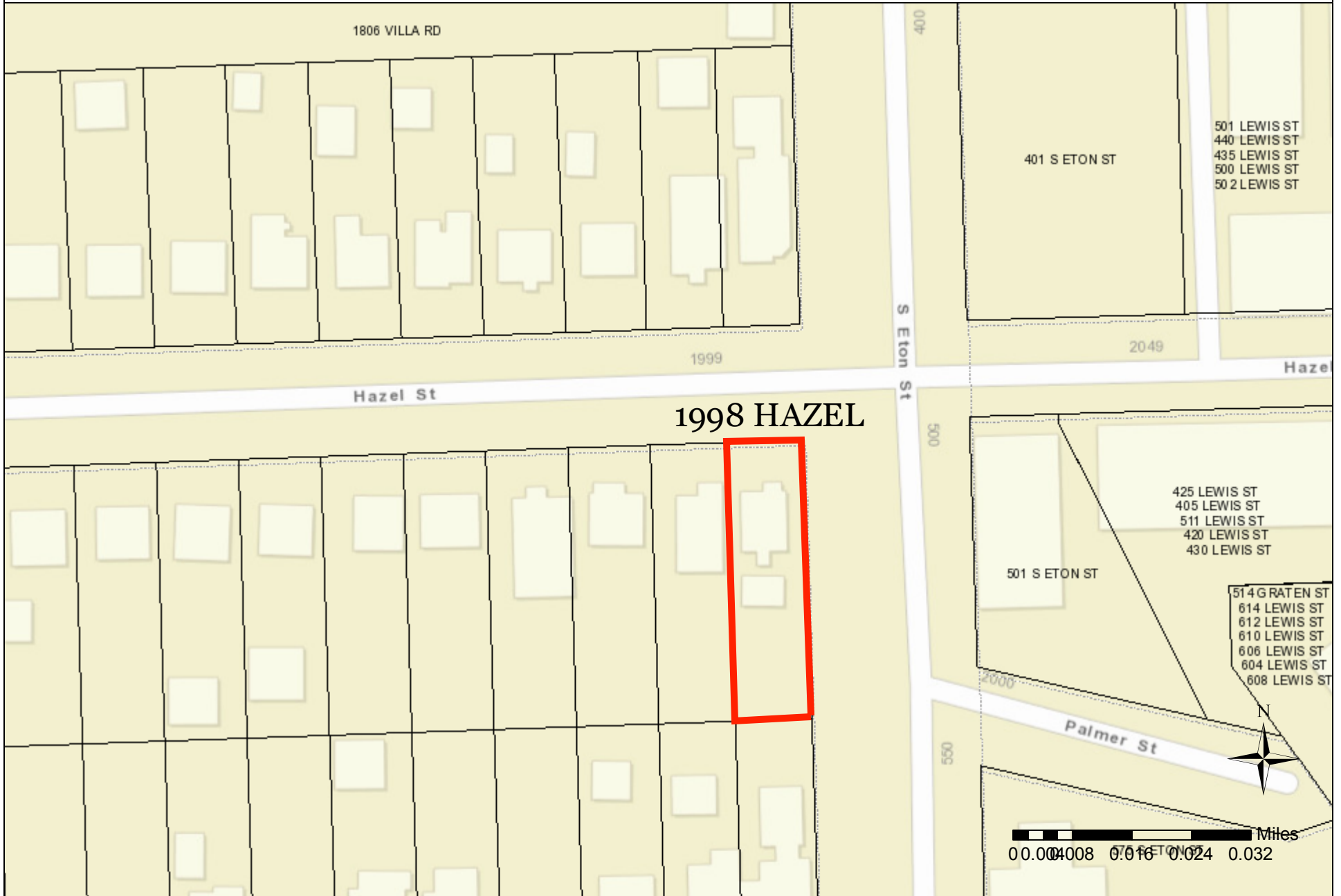
ARTICLE 8: ENFORCEMENT AND PENALTIES

8.01 The Board of Zoning Appeals

3. Variances.
 - a. The Board of Zoning Appeals shall hear and grant or deny requests for variances from the strict application of the provisions of the Zoning Ordinance where there are practical difficulties or unnecessary hardships in carrying out the strict letter of such chapter. In granting a variance, the Board of Zoning Appeals may attach such conditions as it may deem reasonably necessary to promote the spirit and intent of the Zoning Ordinance. The Board of Zoning Appeals shall not grant any variance unless it first determines that:
 - i. Because of special conditions applicable to the property in question, the provisions of the Zoning Ordinance, if strictly applied, unreasonably prevent the property owner from using the property for a permitted purpose;
 - ii. Literal enforcement of the chapter will result in unnecessary hardship;
 - iii. The granting of the variance will not be contrary to the spirit and purpose of the Zoning Ordinance nor contrary to the public health, safety and welfare; and
 - iv. The granting of the variance will result in substantial justice to the property owner, the owners of property in the area and the general public.

(EACH i-iv must be satisfied)

1998 HAZEL MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org
APPLICATION FOR THE BOARD OF ZONING APPEALS

Received Date: _____

Hearing Date: _____

Received By: _____

Appeal #: _____

Type of Variance:	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address:	Lot Number:	Sidwell Number:
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II. OWNER INFORMATION:

Name:			
Address:	City:	State:	Zip code:
Email:*		Phone:	

III. PETITIONER INFORMATION:

Name:	Firm/Company Name:		
Address:	City:	State:	Zip code:
Email:		Phone:	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. COMPLETE digital applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$750.00** for single family residential; **\$950.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

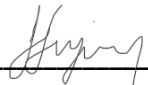
<i>Variance Chart Example</i>				
Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- Please provide the following in your electronic submission:**
- Completed and signed application
 - Signed letter of practical difficulty and/or hardship
 - Certified survey
 - Building plans including existing and proposed floor plans and elevations
 - If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____  _____ Date: _____

Signature of Petitioner: _____ Date: _____

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal


- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

**LLL Investments, LLC
P.O. Box 183504
Shelby Township, MI 48317
info@lllbuilders.com
(586) 306-3535**

May 27, 2025

**Zoning Board of Appeals
City of Birmingham – Planning Department
151 Main Street
Birmingham, MI 48009**

Subject: Request for Zoning Variance for 1998 Hazel Avenue

Dear Members of the Zoning Board of Appeals,

I am writing to respectfully request a zoning variance for my property located at 1998 Hazel Avenue. I am the property owner and am currently in the planning phase of constructing a new residential building on the site, which is zoned residential.

The proposed structure requires a building envelope of 25 feet in width, which represents the minimum feasible width for a modern single-family residence. The lot itself presents a hardship due to its width and existing zoning requirements, which, as written, prevent us from achieving the 25-foot building envelope without a variance.

To move forward, we are requesting a 4 feet variance on the west side setback to allow the construction of the new home within that 25-foot envelope. Without this variance, the buildable width would be significantly constrained, preventing a practical or code-compliant design that meets contemporary building standards and neighborhood context.

This variance is necessary due to the unique constraints of the lot and would not:

- Adversely impact adjacent properties or the character of the neighborhood
- Impair the intent of the zoning ordinance
- Pose any risk to public health or safety

We believe this request represents the minimum relief required to make reasonable use of the property and is consistent with the goals of responsible residential development.

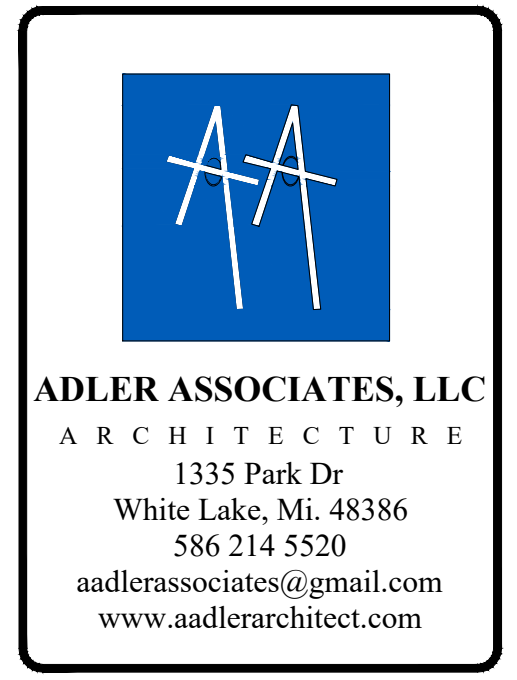
I am prepared to appear before the Zoning Board to answer any questions and provide additional context as needed.

Thank you for your time and consideration.

Sincerely,
LLL Investments, LLC
By: Lindon Lajcaj
P.O. Box 183504
Shelby Township, MI 48317
info@lllbuilders.com
(586) 306-3535

PROPOSED RESIDENCE

1998 HAZEL AVE
BIRMINGHAM, MI 48009



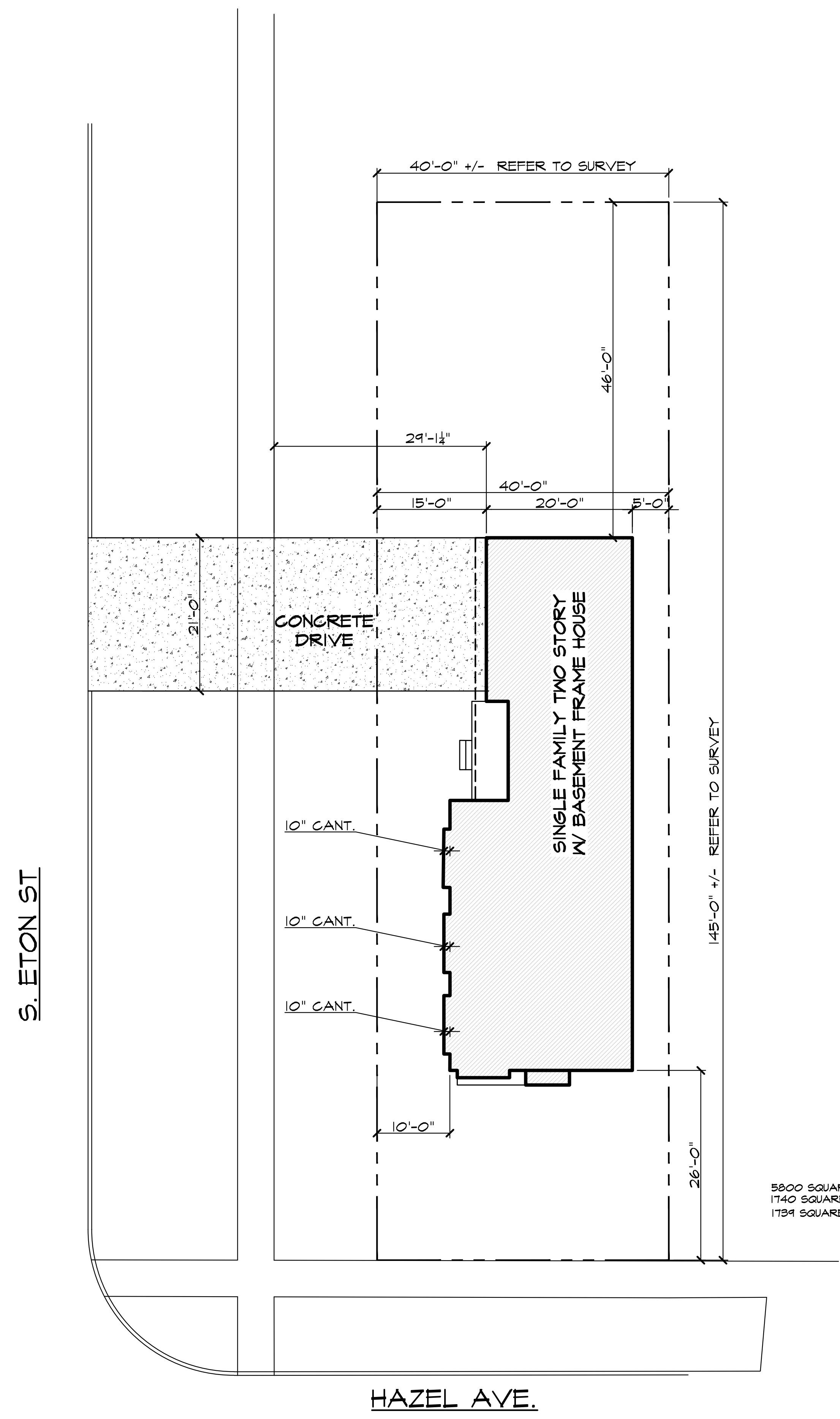
ADLER ASSOCIATES, LLC
ARCHITECTURE
1335 Park Dr
White Lake, MI 48386
586 214 5520
aadlerassociates@gmail.com
www.aadlerarchitect.com

ARCHITECT



LLL BUILDERS
586 306 3535
info@lllbuilders.com
www.lllbuilders.com

BUILDER



BUILDING LOCATION GENERAL NOTES:

- 61. REFER TO ENGINEERED SURVEY FOR SITE PLAN INFORMATION INCLUDING; PROPERTY LINE DIMENSIONS, UTILITIES, LEGAL DESCRIPTION, GRADES, ETC.
- 62. REFER TO DRAWING A10 & DRAWING GNI FOR CONCRETE PAVING NOTES.
- 63. ENGINEERED SURVEY TO ESTABLISH FINISH FLOOR ELEVATION. FOR DESIGN PURPOSES, FIRST FLOOR FINISH IS SHOWN AS 24" ABOVE GRADE AT THE NORTH (FRONT ELEVATION).



ARCHITECTURAL SITE PLAN
scale: 1" = 10'-0"

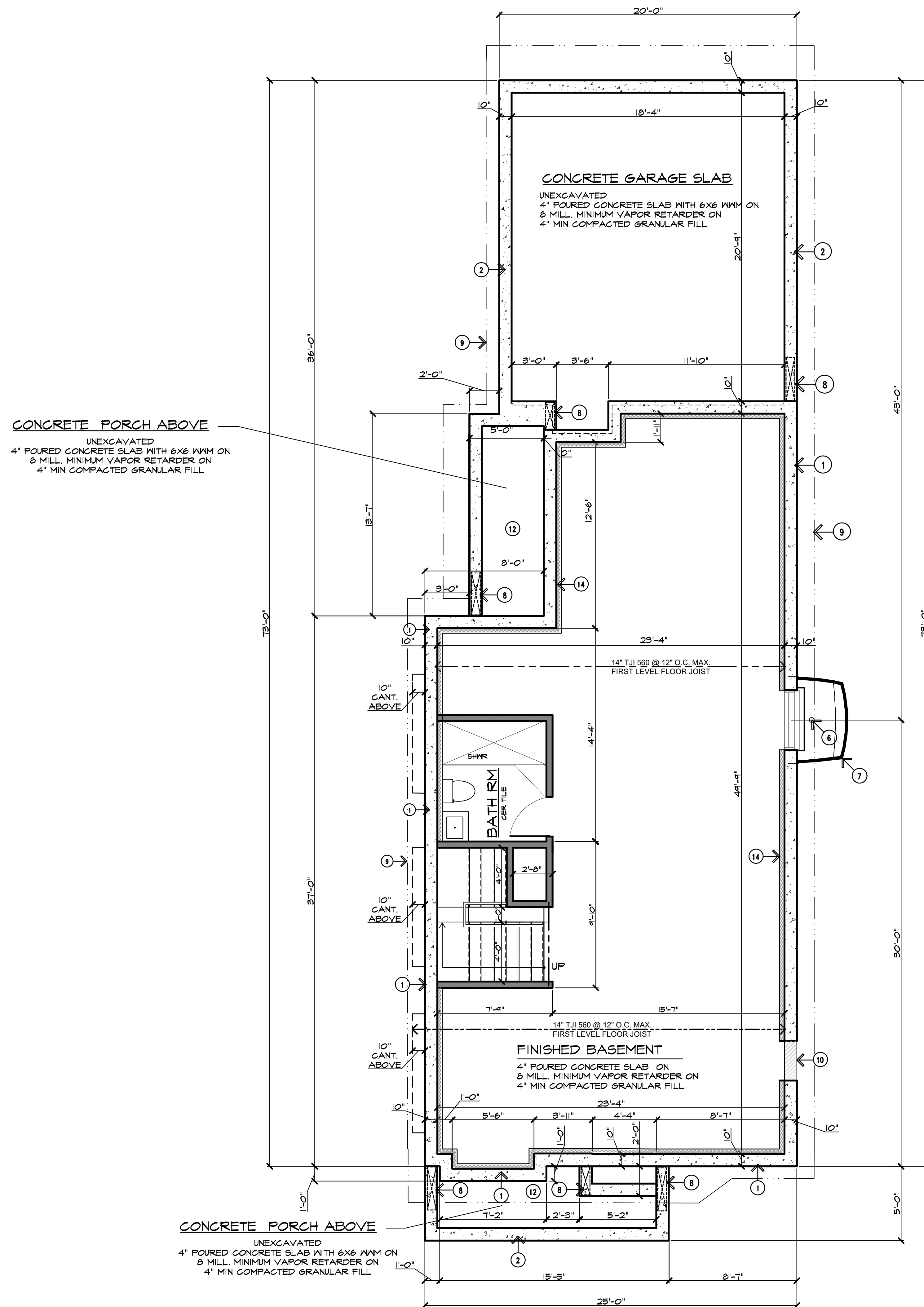
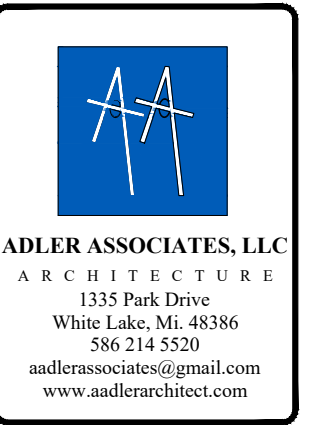
TITLE DRAWING

PROPOSED RESIDENCE

1998 HAZEL AVE
BIRMINGHAM, MI 48009
PROJECT NO. 1425

TTL

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- CONCRETE NOTES**
- C1. ALL WORK TO COMPLY WITH ACI-318 AND ACI-315
 - C2. CONCRETE MATERIAL: 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI MIN. EXTERIOR CONCRETE TO BE AIR ENTRAINED.
 - C3. REINFORCING STEEL: BARS: A615 GRADE 60 DEFORMED BARS PER ASTM TIES: GRADE 40 WELDED WIRE: ASTM A-85, FLAT SHEETS FIBRE: AS AN ALTERNATE TO WELDED WIRE FABRIC USE 1 1/2 LBS POLYPROPYLENE FIBERS PER C.Y. FOR FLAT WORK.
 - C4. PLACING REINFORCING: DOWELS: EXTEND 24" PAST CONSTRUCTION JOINTS. USE SAME SIZE AND SPACING AS VERTICAL (OR HORIZONTAL) STEEL UNLESS OTHERWISE NOTED. BARS: LAP ALL BARS 24" MINIMUM. HORIZ. BARS: BEND AROUND CORNERS AND LAP 30" MINIMUM. CORNER DOWELS: SAME SIZE AND SPACING AS HORIZONTAL STEEL. LAP 30" MINIMUM.
 - C5. MINIMUM CONCRETE COVER UNLESS OTHERWISE NOTED SHALL BE THE FOLLOWING MIN: UNFIRMED SURFACES IN CONTACT W/ GROUND = 3" SLABS ON GRADE = 1" TOP FORMED SURFACES IN CONTACT WITH GROUND OR EXPOSED TO WEATHER = 2" INTERIOR & EXTERIOR STRUCTURAL SLAB = 1" IN NO CASE SHALL CLEARANCE BE LESS THAN DIAMETER OF BAR. MAXIMUM DEVIATION TO ABOVE REQUIREMENTS SHALL BE +1/4" FOR SECTIONS 10" OR LESS AND +1/2" FOR SECTIONS OVER 10" THICK.
 - C6. CONTINUOUS BARS SHALL BE RUN AROUND CORNERS AND LAPPED AT NECESSARY SPLICES AND HOOKED AT DISCONTINUOUS ENDS.
 - C7. CONCRETE PLACEMENTS SHALL BE AS FOLLOWS: WALLS 80" MAX. LENGTH SLABS ON GRADE PLACE IN CHECKERBOARD FASHION.
 - C8. TRENCH FOOTING BARS RUN CONTINUOUS.
 - C9. CONCRETE SLAB: 4" SLAB REINFORCED WITH 6x6, W4.0xW4.0 W/M ON VAPOR RETARDER ON MINIMUM 4" COMPACTED SAND.
 - C10. SLAB CONTROL JOINTS: 10' O.C. MAX. 3/4" DEEP
 - C11. CONSTRUCTION JOINTS: 60' O.C. MAX.

- FOUNDATION PLAN GENERAL NOTES**
- G1. NOTE: ALL FOUNDATIONS/ FOOTINGS SHALL BE PLACED ON FIRM SOIL OR ENGINEERED - COMPACTED BACK FILL.
 - G2. INSTALL LIQUID APPLIED WATERPROOFING MEMBRANE AT ALL BASEMENT WALLS. INSTALL PER MANUFACTURER REQUIREMENTS.
 - G3. FURNACE, DUCT WORK, HEATING AND COOLING DESIGN AND OR ENGINEERING BY CONTRACTOR.
- FOUNDATION PLAN WORK NOTES**
- 1. 10" WIDE BASEMENT WALL POURED CONCRETE FOUNDATION WITH #5 VERTICAL REINFORCEMENT @ 36" O.C. & (2) #5 HORIZONTAL REINFORCEMENT @ 3" FROM BOTTOM, 2", 5", 7", AND 3" FROM TOP. REFER TO WALL SECTION FOR FURTHER INFORMATION.
 - 2. 10" x 42" (BELOW GRADE) TRENCH POURED CONCRETE FOUNDATION WITH (2) #4 REBAR - 3" FROM ANY EDGE, BOTH TOP AND BOTTOM OF FOOTING.
 - 3. POINT LOAD FROM ABOVE (SHOWN FOR REFERENCE)
 - 4. 1/2" GYP. BOARD OVER 2X WD. FURRING W/ R15 INSUL.
 - 5. LINE OF WALL ABOVE
 - 6. DRAIN WITH GRATED COVER - CONNECT TO DRAIN TILE
 - 7. EGRESS WINDOW WELL - FOLLOW KIT MANUFACTURERS INSTALLATION INSTRUCTIONS. SEAL ALL CONNECTIONS TO FOUNDATION WALL.
 - 8. LEAD WALL
 - 9. DRAIN TILE
 - 10. GLASS BLOCK WINDOW
 - 11. 2X4 @ 16" O.C. NOM. WOOD STUD BEARING WALL. PROVIDE P.T. BOTTOM PLATE WITH SILL SEAL BETWEEN CONCRETE SLAB. ANCHOR W/ 1/4" X 3 1/2" TAPCON SCREW @ 32" O.C. MAX. THICKEN SLAB 8" DEPTH BELOW WALL
 - 12. HOLD TOP OF PORCH FOUNDATION DOWN 10" BELOW FINISH FLOOR

BASEMENT/ FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



ADLER ASSOCIATES, LLC
ARCHITECTURE
1335 Park Drive
White Lake, MI 48386
586.214.5520
adlerassociates@gmail.com
www.adlerarchitect.com

FLOOR PLAN GENERAL NOTES

- 61. ALL INTERIOR DOORS ARE 2'-8" WIDE x 6'-8" UNLESS OTHERWISE NOTED.
- ALL EXTERIOR DOORS ARE 3'-0" WIDE x 8'-0" UNLESS OTHERWISE NOTED.
- 62. ALL BATHROOMS TO HAVE CERAMIC TILE. ON FLOOR, TUB SURROUND AND SHOWER AREAS COMPLETELY TILED, INCLUDING CEILING, WALLS TILED TO 5' A.F.F. GRANITE COUNTERTOP - EXACT PRODUCT AS SELECTED BY OWNER.
- 63. STAIRS/ STEPS:
FOLLOW ALL MICHIGAN RESIDENTIAL CODE REQUIREMENTS (SECTION R311) TREADS AND RISERS AS NOTED. HANDRAIL HEIGHT SHALL BE 36" A.F.F. U.N.O., 1 1/2" DIAMETER. ALL BALUSTERS SHALL HAVE NOT ANY SPACE GREATER THAN 4" BETWEEN THEM.
INTERIOR STAIR CONSTRUCTION & FLOOR FINISH AS FOLLOWS:
HANDRAIL, NEVEL POSTS & BALUSTERS, SHALL BE WOOD TO MATCH STEPS, AS SELECTED BY OWNER
TREADS - WOOD, AS SELECTED BY OWNER WITH CARPET RUNNER.
GARAGE - WOOD, AS SELECTED BY OWNER.
- 64. GARAGE DOORS, ENTRY DOORS, AND FINISHES, ETC. AS SELECTED BY OWNER.
- 65. ALL STRUCTURAL MEMBERS SHOWN ARE FOR DESIGN PURPOSES ONLY. EACH PRE-ENGINEERED MEMBER'S MANUFACTURER LICENSED ENGINEER SHALL VERIFY SIZE REQUIRED.
- 66. ALL HARDWOOD FINISHED WOOD NOTED SHALL BE 3/4" T&G. SPECIES AND FINISH AS SELECTED BY OWNER.

WORK NOTES:

- 1. INSTALL 5/8" TYPE X GYP BOARD ON WALLS AN CEILING OF GARAGE. INSTALL VAPOR RETARDER ON WALL BETWEEN GARAGE AND LIVING AREA
- 2. LINE OF WALL ABOVE
- 3. 6X6 WD. SQUARE COLUMN WITH ALUM. COVER.
- 4. SHELF & ROD TYP. ALL CLOSETS
- 5. MN. (3) 2X4 NOM. WOOD COLUMN
- 6. LINE OF PAN CEILING. TRUSS DESIGN TO STEP UP 12" WHERE SHOWN

WALL LEGEND:

- EW1 EXTERIOR WALL TYPICAL UNLESS OTHERWISE NOTED - SHOWN AS T
- 4" NOM. BRICK OR STONE VENEER on 1" AIR SPACE AND AIR BARRIER (TYVEK OR EQUAL) on 7/16" PLYWOOD SHEATHING on 2x6 NOM. WOOD STUDS @16" o.c. MAX with R21 BATT INSULATION 1/2" GYPSUM BOARD (PAINTED 3 COATS)
- IW1 INTERIOR WALL TYPICAL UNLESS OTHERWISE NOTED.
1/2" GYPSUM BOARD (PAINTED 3 COATS) on 2x4 NOM. WOOD STUDS @16" o.c. MAX on 1/2" GYPSUM BOARD (PAINTED 3 COATS) INSTALL R 13 INSULATION AT ALL BATHROOM & LAUNDRY WALLS
- IW2 INTERIOR WALL
1/2" GYPSUM BOARD (PAINTED 3 COATS) on 2x4 NOM. WOOD STUDS @16" o.c. MAX TO UNDERSIDE OF COUNTER TOP

WINDOW NOTES:

WINDOW MANUFACTURER USE STANDARD SIZE WINDOWS AS CLOSE AS POSSIBLE TO THOSE SHOWN. CUSTOM WINDOWS ONLY AS INDICATED PER PLAN. REFER TO ELEVATIONS FOR TRANSOM WINDOWS. PROVIDE SCREENS FOR ALL EXTERIOR DOORS AND OPERATING WINDOWS. WINDOW SIZES SHOWN REPRESENT WIDTH X HEIGHT IN INCHES.

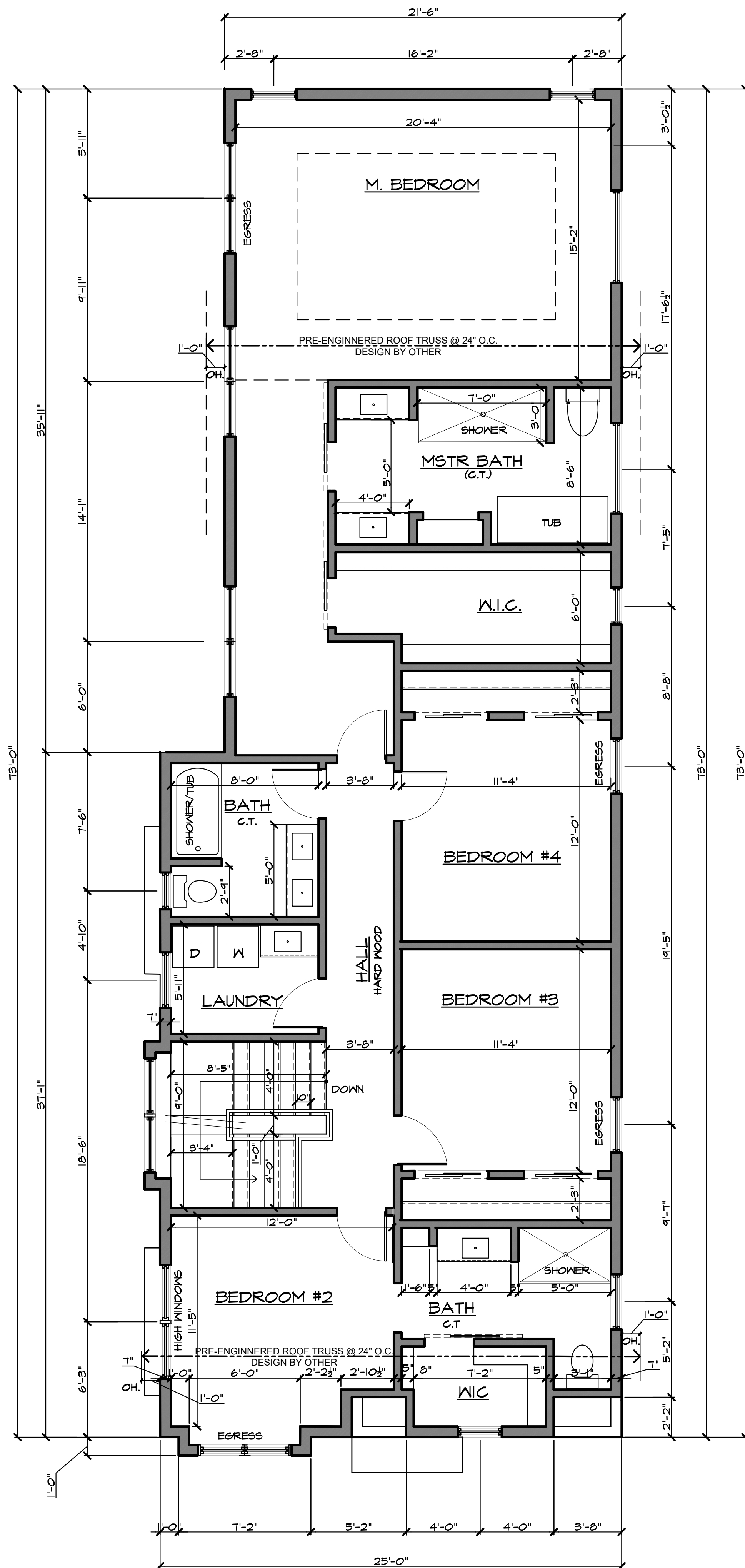
ONE WINDOW IN EACH BEDROOM SHALL MEET EMERGENCY EGRESS REQUIREMENTS
MBC R-310 THROUGH R-310.4
MIN. 5.7 SQ. FT. CLEAR OPENING

HIGH EFFICIENT LOW E INSULATED GLASS CLADDING AND COLOR AS SELECTED BY OWNER

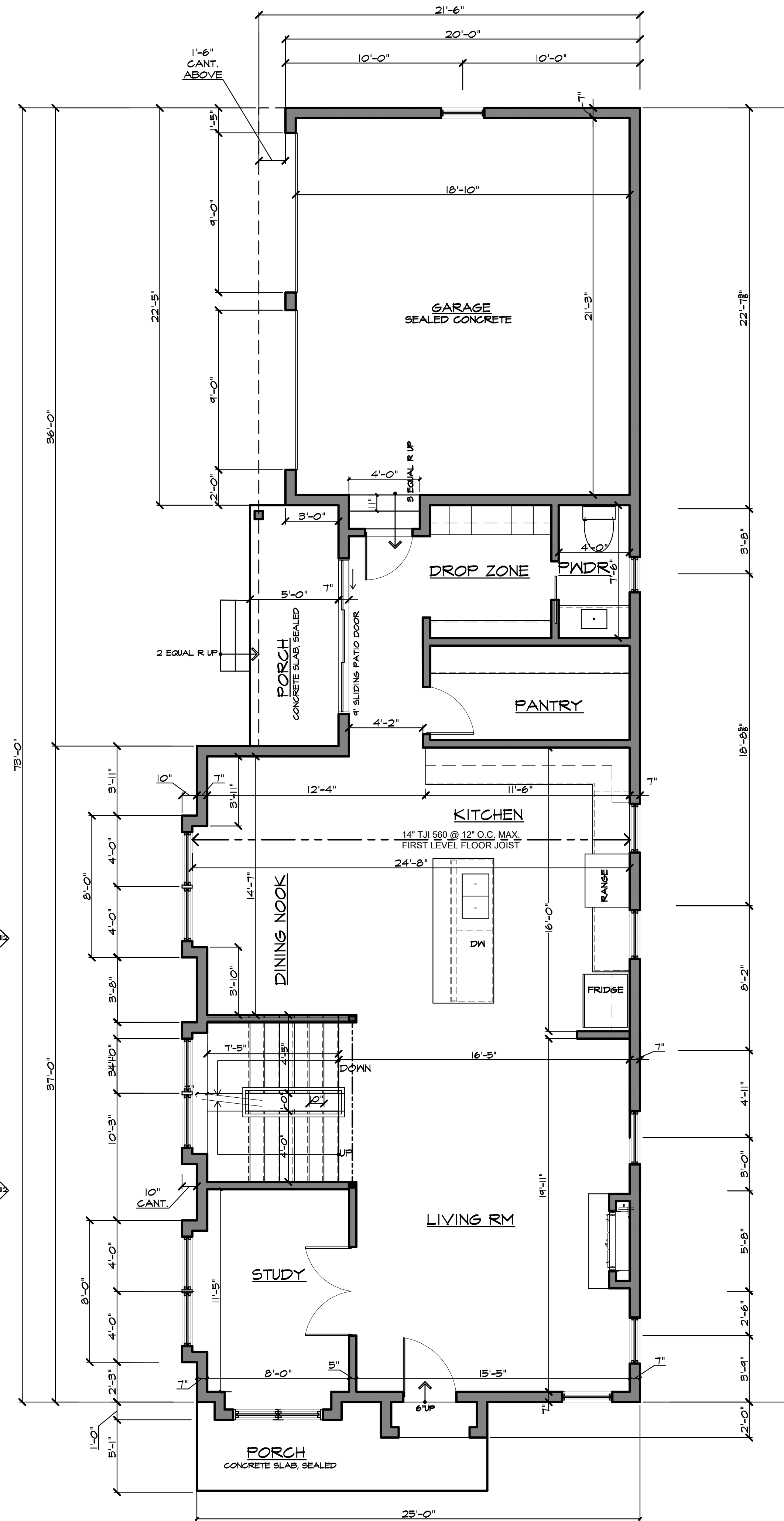
WINDOW MANUFACTURER SHALL FOLLOW MRC 2015 AND PROVIDE TEMPERED GLASS WHEREVER REQUIRED.

VERIFY ROUGH OPENING DIMENSIONS W/ MANUFACTURER PRIOR TO CONSTRUCTION.
INSTALL WINDOWS IN STRICT ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

WINDOWS FIRST FLOOR = 8'-0" ABOVE FINISH FLOOR
WINDOWS SECOND FLOOR = 6'-8" ABOVE FINISH FLOOR
EXTERIOR DOORS HEAD HEIGHT = 8'-0" A.F.F.



2 SECOND FLOOR PLAN
scale: 1/4" = 1'-0"
1522 HEATED SQUARE FEET



1 FIRST FLOOR PLAN
scale: 1/4" = 1'-0"
1041 HEATED SQUARE FEET

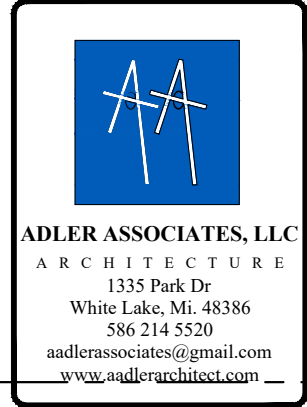
1734 SQUARE FEET LOT COVERAGE
5600 SQUARE FEET LOT SIZE
1740 SQUARE FEET MAX ALLOWED

**FIRST FLOOR PLAN
SECOND FLOOR PLAN**

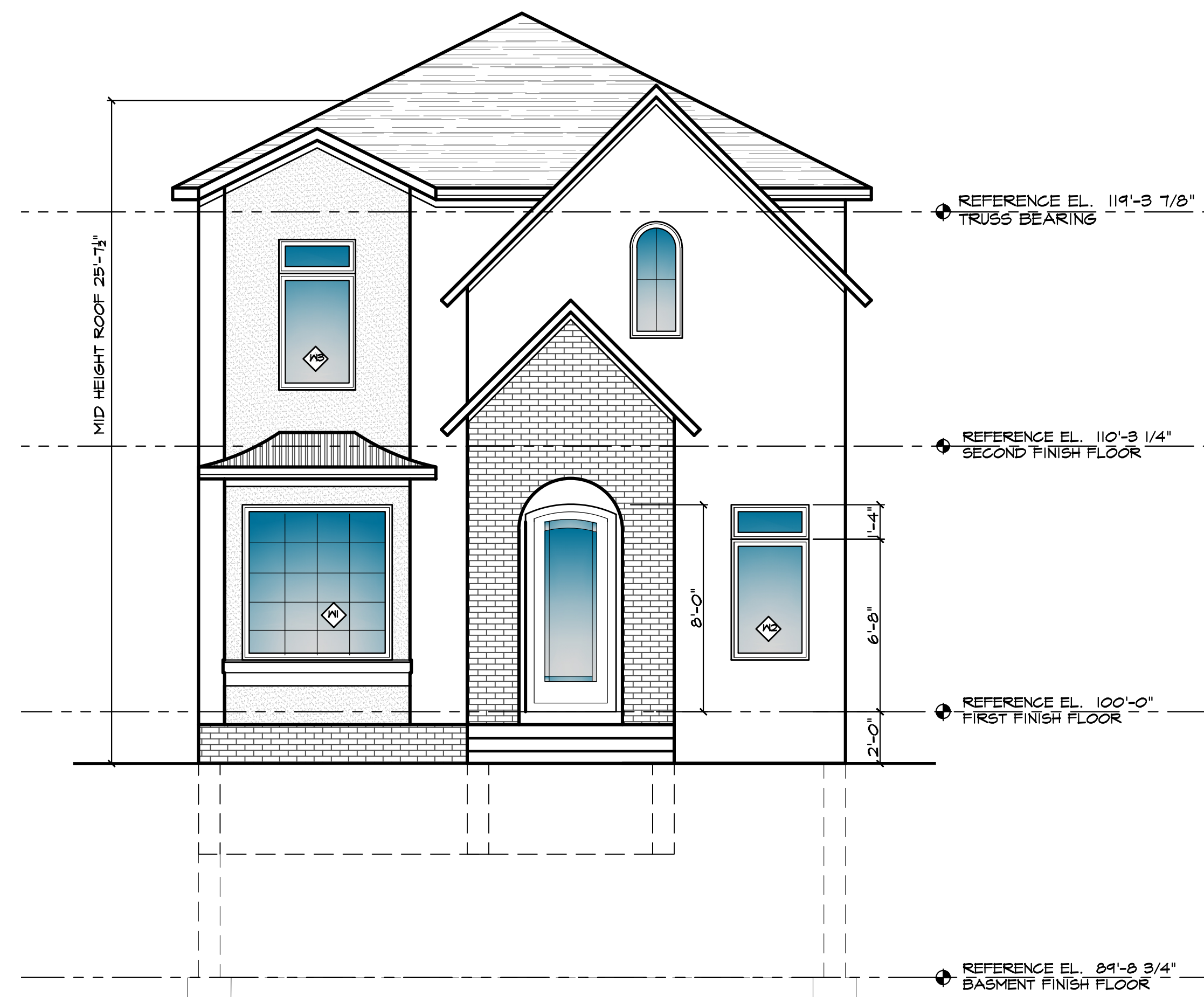
PROPOSED RESIDENCE

1998 HAZEL AVE
BIRMINGHAM, MI 48009
PROJECT NO. 1425

A 20



1 EAST ELEVATION
A40 scale: 1/4" = 1'-0"



2 NORTH ELEVATION
A40 scale: 1/4" = 1'-0"

MATERIAL LEGEND	
(A)	COMPOSITION SHINGLES
(B)	MET. DRIP EDGE & GUTTER ON 2x6 ALUM. CLAD FASCIA
(C)	1x6 RAKE BD. w/ 1x4 SUB-RAKE (ALUM. CLAD)
(D)	FLASHING
(E)	RIDGE VENT
(F)	3'x3" MIN. DOWNSPOUT w/ 5' EXTENSION AWAY FROM HOUSE
(G)	CONTINUOUS VENTED SOFFIT
(H)	ALUM. CLAD TRIM
(I)	3'x4" MIN. GUTTER
(J)	SIDING AS SELECTED BY OWNER
(K)	METAL ROOF AS SELECTED BY OWNER
(L)	1x6 P.T. MOOD FRIEZE TRIM (ALUM CLAD)
(M)	SMOOTH FACE FIBER CEMENT BOARD PANELS WITH PAINT FINISH

ZONING REVIEW: 05.12.2025

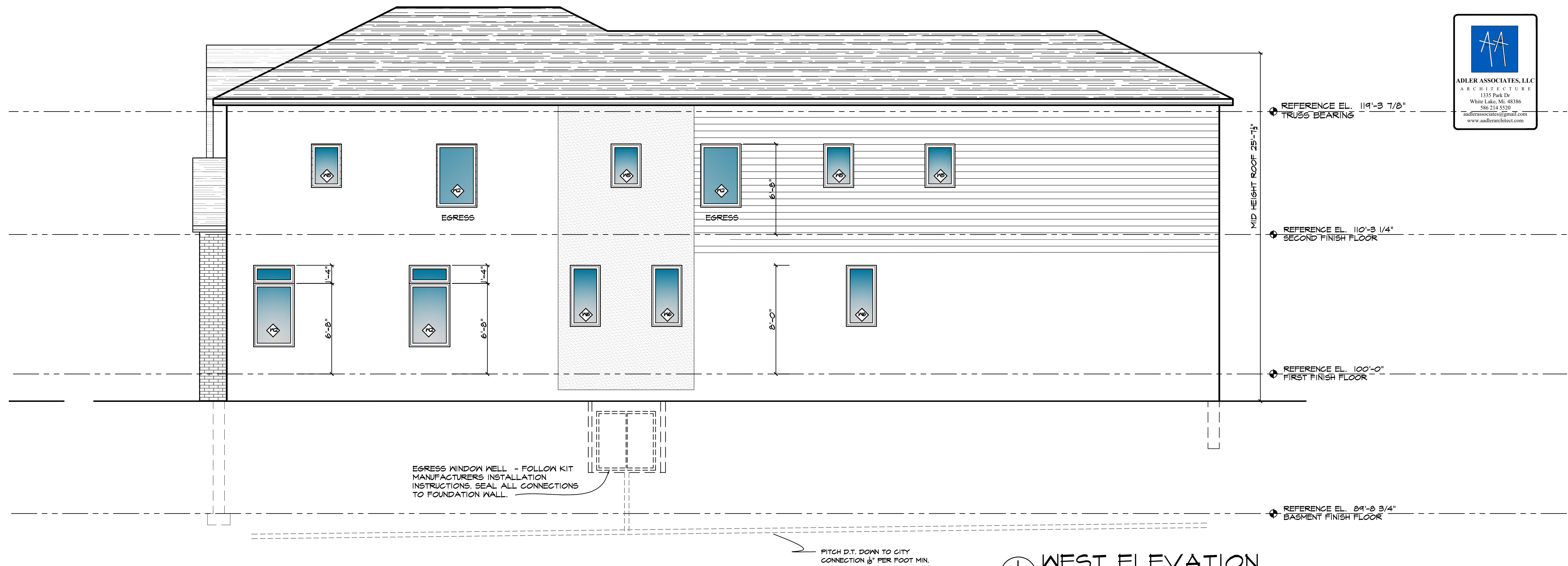
EXTERIOR ELEVATIONS

PROPOSED RESIDENCE
1998 HAZEL AVE.
BIRMINGHAM, MI. 48009

PROJECT NO. 1425














A 40

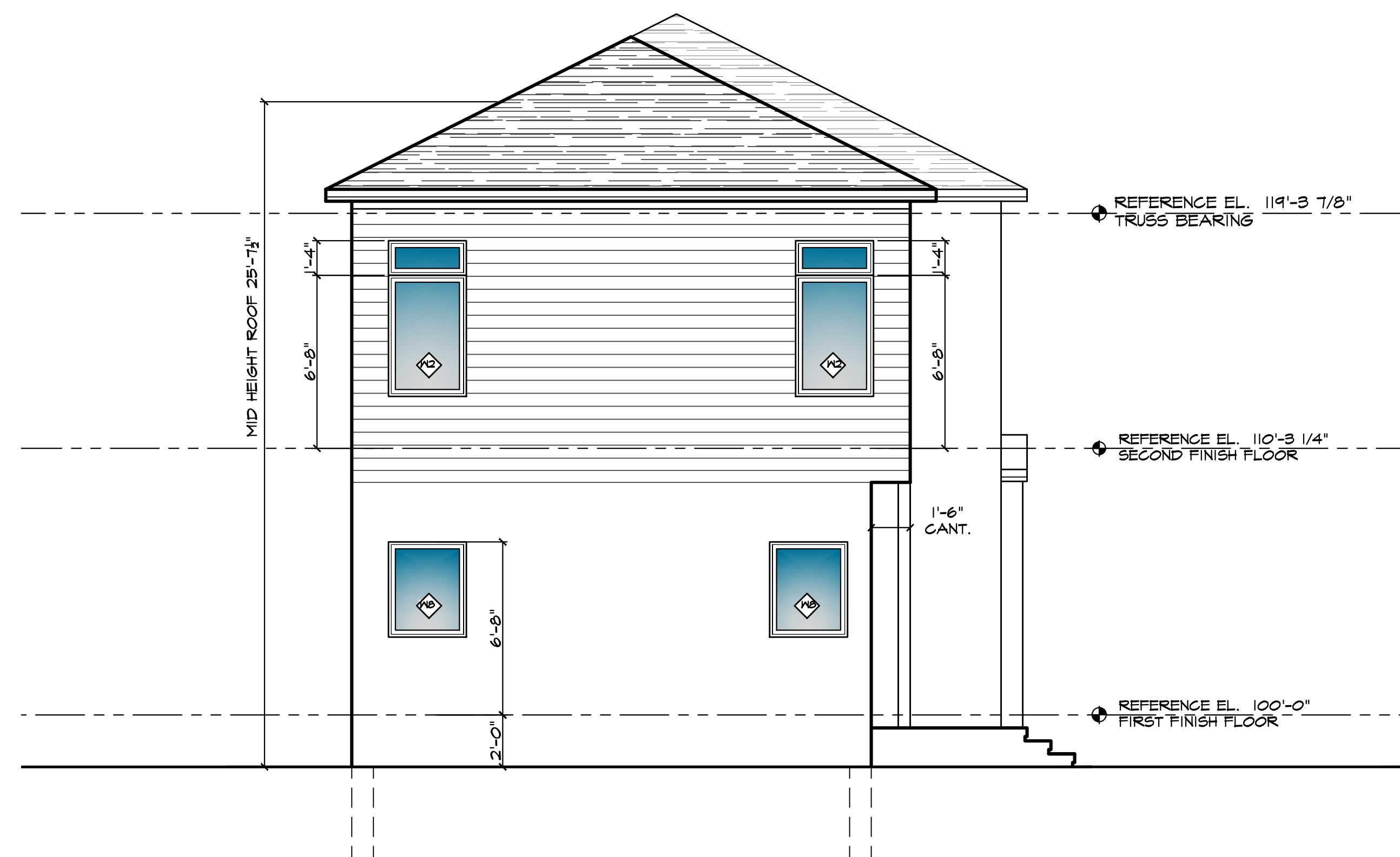
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WEST ELEVATION
 A40 scale: 1/4" = 1'-0"

MATERIAL LEGEND

-  COMPOSITION SHINGLES
-  MET. DRIP EDGE & GUTTER ON 2x6 ALUM. CLAD FASCIA
-  1x6 RAKE BD. w/ 1x4 SUB-RAKE (ALUM. CLAD)
-  FLASHING
-  RIDGE VENT
-  3"x3" MIN. DOWNSPOUT w/ 5' EXTENSION AWAY FROM HOUSE
-  CONTINUOUS VENTED SOFFIT
-  ALUM. CLAD TRIM
-  3"x4" MIN. GUTTER
-  SIDING AS SELECTED BY OWNER
-  METAL ROOF AS SELECTED BY OWNER
-  1x6 P.T. MOOD FRIEZE TRIM (ALUM CLAD)
-  SMOOTH FACE FIBER CEMENT BOARD PANELS WITH PAINT FINISH




SOUTH ELEVATION
 A45 scale: 1/4" = 1'-0"

ZONING REVIEW: 05.12.2025

EXTERIOR ELEVATIONS

PROPOSED RESIDENCE
 1998 HAZEL AVE.
 BIRMINGHAM, MI. 48009

PROJECT NO. 1425

A 45

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CASE DESCRIPTION

1133 Latham (25-19)

Hearing date: July 8, 2025

Appeal No. 25-19: The owner of the property known **1133 Latham**, requests the following variances to install a generator on a non-conforming lot:

A. Chapter 126, Article 4, Section 4.03(N)(1) of the Zoning Ordinance requires that the placement of standby generators shall be limited to the rear open space only at a location that is at least 5.00 feet from any principal building or accessory building with habitable space. The required is 5.00 feet. The proposed is 3.00 feet. Therefore, a variance of 2.00 feet is requested in the rear yard.

Staff Notes: The applicant is looking to place a generator in the rear yard of the home that was constructed in 1950.

This property is zoned R2 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS
Building Official

CHAPTER 126 - ZONING

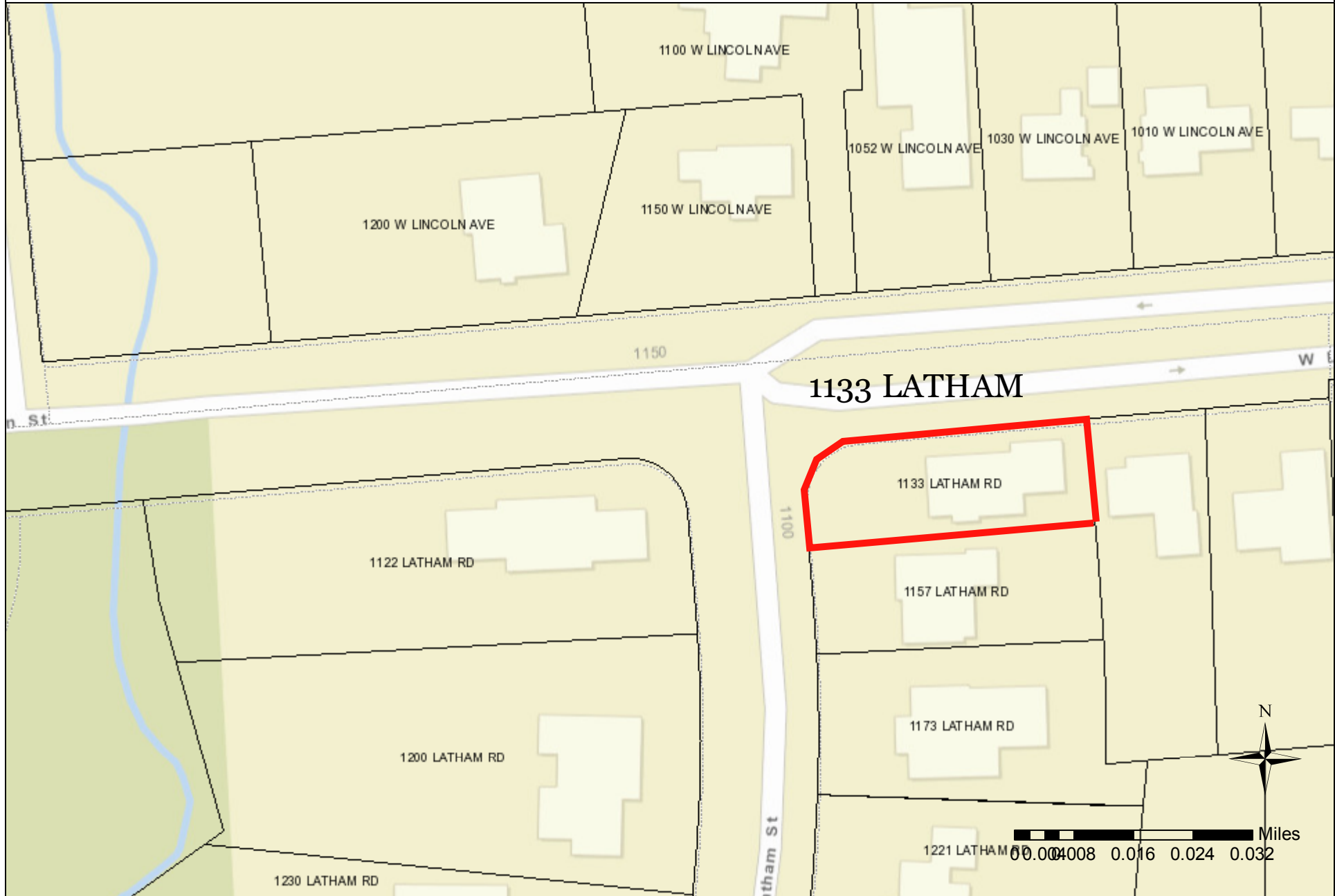
ARTICLE 8: ENFORCEMENT AND PENALTIES

8.01 The Board of Zoning Appeals

3. Variances.
 - a. The Board of Zoning Appeals shall hear and grant or deny requests for variances from the strict application of the provisions of the Zoning Ordinance where there are practical difficulties or unnecessary hardships in carrying out the strict letter of such chapter. In granting a variance, the Board of Zoning Appeals may attach such conditions as it may deem reasonably necessary to promote the spirit and intent of the Zoning Ordinance. The Board of Zoning Appeals shall not grant any variance unless it first determines that:
 - i. Because of special conditions applicable to the property in question, the provisions of the Zoning Ordinance, if strictly applied, unreasonably prevent the property owner from using the property for a permitted purpose;
 - ii. Literal enforcement of the chapter will result in unnecessary hardship;
 - iii. The granting of the variance will not be contrary to the spirit and purpose of the Zoning Ordinance nor contrary to the public health, safety and welfare; and
 - iv. The granting of the variance will result in substantial justice to the property owner, the owners of property in the area and the general public.

(EACH i-iv must be satisfied)

1133 LATHAM MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org

APPLICATION FOR THE BOARD OF ZONING APPEALS

Received Date: _____

Hearing Date: 7/8/2025

Received By: _____

Appeal #: 25-19

Type of Variance:	<input checked="" type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input checked="" type="checkbox"/> Land Use	<input checked="" type="checkbox"/> Sign	<input checked="" type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address:	Lot Number:	Sidwell Number:
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II. OWNER INFORMATION:

Name:			
Address:	City:	State:	Zip code:
Email:*		Phone:	

III. PETITIONER INFORMATION:

Name:	Firm/Company Name:		
Address:	City:	State:	Zip code:
Email:		Phone:	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. COMPLETE digital applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$750.00** for single family residential; **\$950.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example

Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- Please provide the following in your electronic submission:**
- Completed and signed application
 - Signed letter of practical difficulty and/or hardship
 - Certified survey
 - Building plans including existing and proposed floor plans and elevations
 - If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: John G Gentile **Date:** _____

Signature of Petitioner: _____ **Date:** _____

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
 2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.
-
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
4. When there are less than six (6) members present for a meeting, then all petitioners shall be given an opportunity at the beginning of the meeting to elect to have the request heard at the next regularly scheduled meeting.

ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.

John G Gentile

Signature of Applicant

Date: June 2, 2025

To: City of Birmingham Zoning Board of Appeals
151 Martin St.
Birmingham MI. 48009

From: Home Owners
John & Dolores Gentile

Subject: 1133 Latham St.
Standby Generator Location Variance

Members of the Board,

Thank you for your consideration of this variance request to reduce the location of a new Standby Generator from 5 feet to 3 feet from our existing garage.

HISTORY:

- Home owner approached Oak Electric in October 2024 for purchase and install of a 22kW Generac Standby Generator. Birmingham location requirement was 1.5' from building & 3.0' from fence, also per current Generac installation manual. These dimensions fit the generator nicely, adjacent to unoccupied garage and fence while not impacting existing walkway or garden aesthetics. See Layout and Photos.
- Delays with Consumers Energy for installation of higher capacity gas meter delayed Generator install until spring of 2025.
- City of Birmingham increased the Standby Generator location requirement from 1.5' to 5.0' from building in Spring 2025. This increase will push generator and pad into existing garden walkway and existing gate swing path. This position also looks out of place with existing garden and path.

VARIANCE REQUEST:

- Home owner proposes to place the standby generator 3.0' from garage. This is a 2.0' decrease from the exiting 5.0' current requirement. All other location dimensions would comply.

RATIONAL:

- Adjacent space is a non-habitable, unfinished garage. Brick frame construction with no overhang. Existing high attic gable vent is inoperable and sealed. Garage windows are fixed and inoperable.
- Generator and Pad will not intrude into the existing garden walkway or gate swing at 3.0' from garage, and look appropriately placed within the garden.
- Owner will install CO/Smoke detector in garage and include with existing 3rd party security contract, monitored 24/7. Birmingham Fire/Police are notified by 3rd party directly if alarm is triggered.
- Locations other than 3.0' from garage begin to intrude into 20.0' distance requirement (Zoning Ordinance 4.03 AS-02N2b) to neighboring habitable space (neighbor at 1025 W. Lincoln Ave). Generator exhausts to the south.
- Other locations not practical due to gas/electrical line trenching through mature trees/roots and proximity: to fence, existing gate swing & path. Small corner lot with very small side & back yards make generator placement difficult.

Thank you for your consideration,

John & Dolores Gentile

MORTGAGE REPORT FOR:



SCALE: 1" = 20'

LEGAL DESCRIPTION:

LOT# 216, Birmingham Hills Sub'n.,
City of Birmingham, Oakland County,
Michigan. Rec'd L. 41, P. 40 Plats,
O.C.R.

Proposed location of
new 22kW Generac
Generator Installation
by Oak Electric

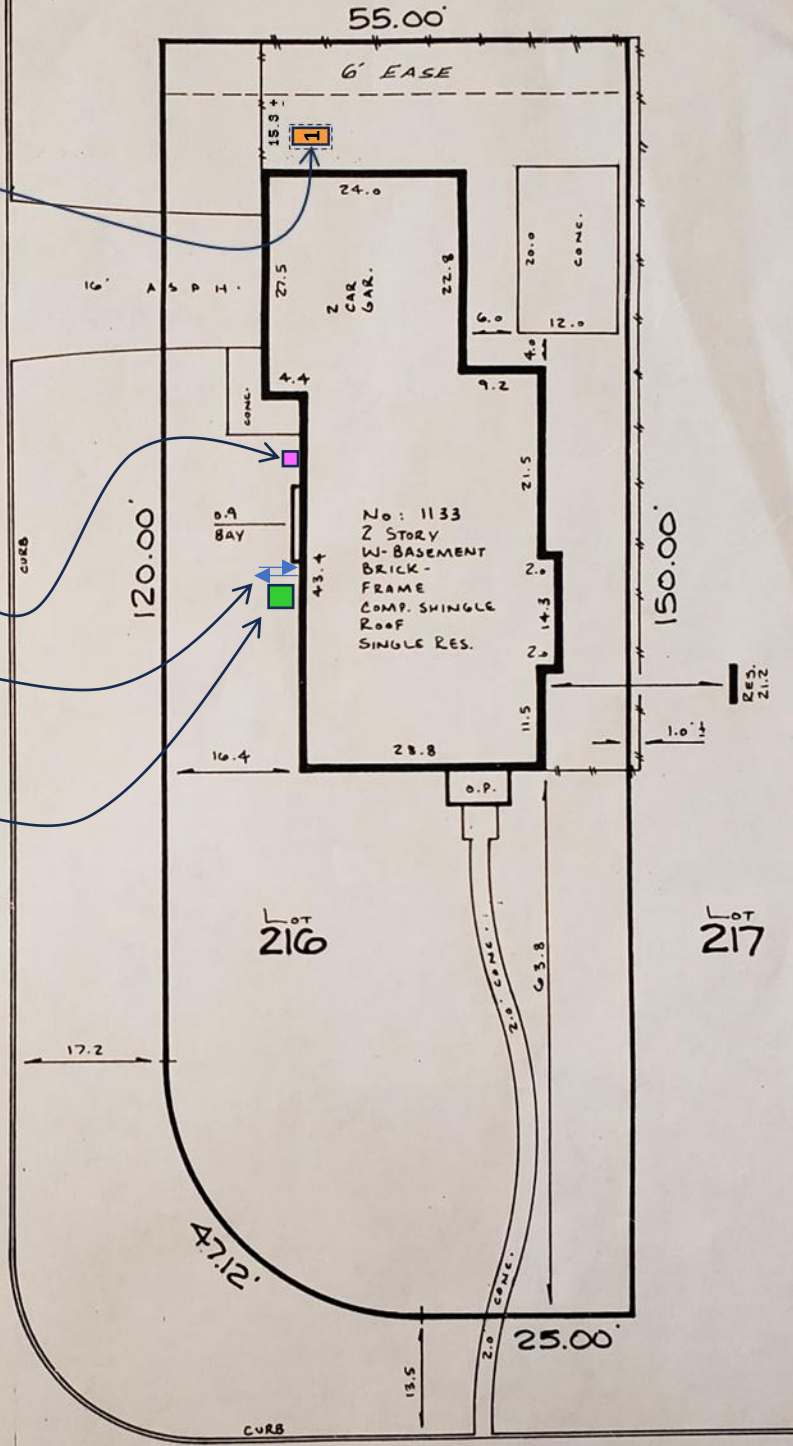
Gas Meter

Furnace
Intake & Exhaust

AC
Condenser

LINCOLN AVE. 76' R.O.W.

LATHAM RD. 60' R.O.W.



FILE NO: 242767-64883

DATE: 7/2/98

APPLICANT: Barbara Porter & D. Victor Pytko

We hereby certify that we have inspected the property described in accordance with the Legal Description as furnished to us and should have been reviewed and confirmed by your Title Company prior to closing on your loan and that we assume no liability for discrepancies in the Legal Description. This report is strictly used for Mortgage purposes in connection with a new Mortgage loan and no other guaranties are either expressed or implied. The buildings and improvements are within the property lines as known to us except as indicated. Easements as shown are per recorded Subdivision Plat unless otherwise indicated and or as disclosed within your title policy and or furnished to us. This Mortgage report was specifically prepared for identification purposes only for the applicants in connection with a new Mortgage loan within 120 days of the date shown, and should NOT be used for refinancing purposes or transferred to any future property owners. The above Company acknowledges that by the use of the Mortgage Report, the liability of Metropolitan Survey, Inc., hereon is limited to the total fees paid for the services rendered. This is not to be used to establish property lines, easement lines, public right-of-way building lines, conformity or non-conformity to State, County or Local ordinances and/or codes; etc. Sheds, outbuildings, fences and driveway locations shown are approximate. To accurately locate the aforementioned structures and property corners, a certified Boundary Survey, not included in this report is necessary to accurately show these improvements and is recommended.

CERTIFIED TO ALL TITLE COMPANIES:

METROPOLITAN SURVEY INC.

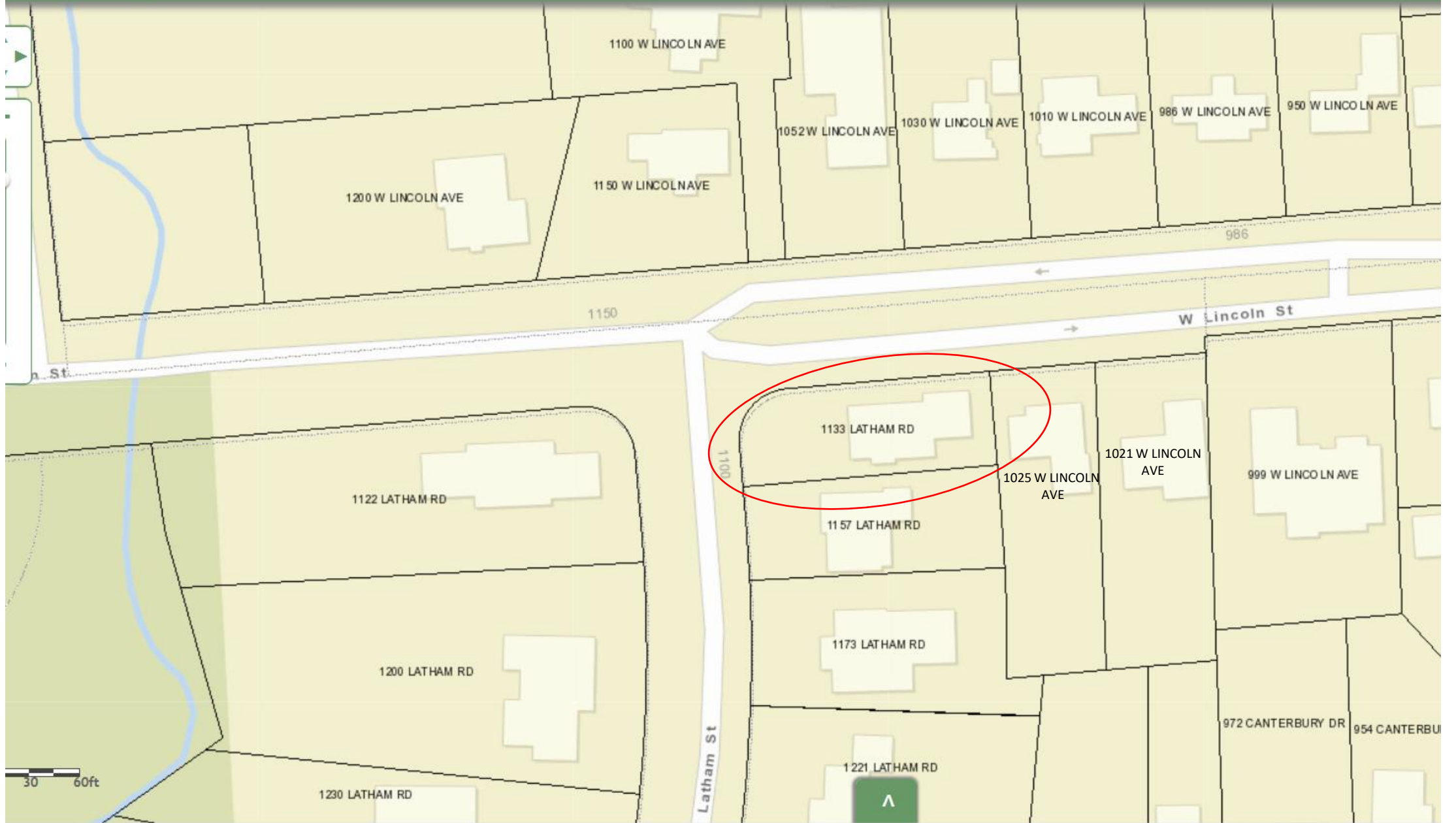
1915 E. NINE MILE ROAD, FERDALE, MI 48220



FAX: (248) 547-3537 • PHONE: (248) 547-3077

1133 Latham

Request for Variance



Proposed Variance for Standby Generator Setback

HISTORY

- Home owner approached Oak Electric in October 2024 for purchase and install of a 22kW Generac Standby Generator. Birmingham location requirement was 1.5'* from building & 3.0'* from fence. These dimensions fit generator nicely, adjacent to unoccupied garage and fence while not impacting existing walkway or garden aesthetics. See Layout & Photos.
- Delays with Consumers Energy for installation of higher capacity gas meter delayed Generator install until spring 2025.
- City of Birmingham increased the Standby Generator location requirement from 1.5' to 5.0' from building in Spring 2025. This pushes generator and pad into existing garden walkway and existing gate swing. This position also looks out of place with existing garden and path.

*also per current Generac Installation Manual

VARIANCE REQUEST

- Home owner proposes to place the standby generator 3.0' from garage. This is a 2.0' decrease from the exiting 5.0' current requirement. All other location dimensions would comply.

RATIONAL

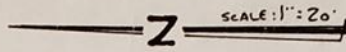
- Adjacent space is a non-habitable, unfinished garage. Brick frame construction with no overhang. Existing high attic gable vent is inoperable and sealed. Garage windows are fixed and inoperable.
- Generator & pad will not intrude into existing garden walkway or gate swing @ 3.0' from garage, and look appropriately placed within garden.
- Owner will install CO/Smoke detector in garage and include with existing 3rd party security contract, monitored 24/7. Birmingham Fire/Police are notified by 3rd party directly if alarm is triggered.
- Locations other than 3.0' from garage begin to intrude into the 20.0' distance requirement (Zoning Ordinance 4.03 AS-02N2b) to neighboring habitable space (neighbor at 1025 W. Lincoln Ave). Generator exhausts to south.
- Other locations not practical due to gas/electrical line trenching through mature trees/roots and proximity: to fence, existing gate swing & path. Small corner lot with very small side & back yards make generator placement difficult.

MORTGAGE REPORT FOR:



LEGAL DESCRIPTION:

LOT# 216, Birmingham Hills Sub'n.,
City of Birmingham, Oakland County,
Michigan. Rec'd L. 41, P. 40 Plats,
O.C.R.



Proposed location of
new 22kW Generac
Generator Installation
by Oak Electric

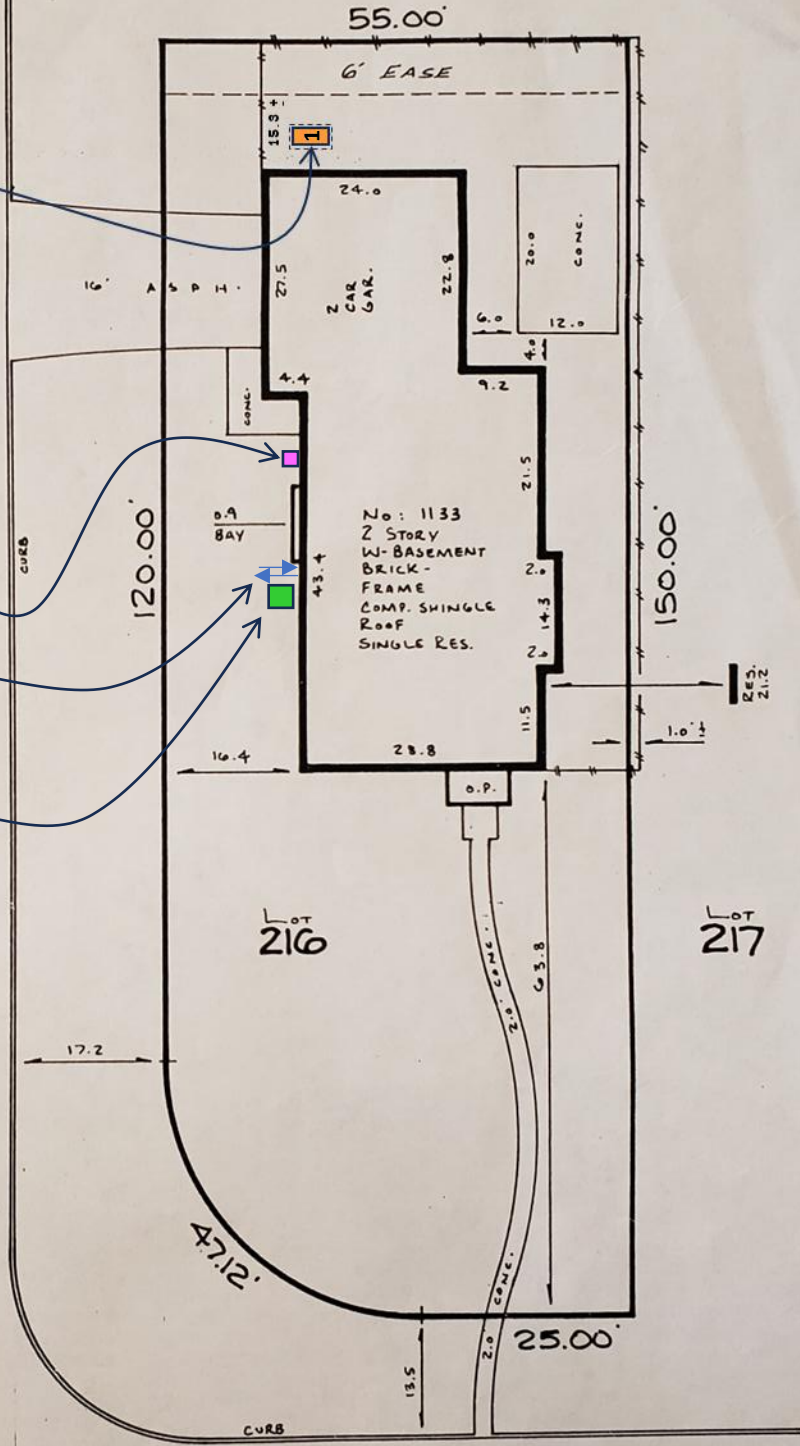
Gas Meter

Furnace
Intake & Exhaust

AC
Condenser

LINCOLN AVE. 76' R.O.W.

LATHAM RD. 60' R.O.W.



FILE NO: 242767-64883

DATE: 7/2/98

APPLICANT: Barbara Porter & D. Victor Pytko

We hereby certify that we have inspected the property described in accordance with the Legal Description as furnished to us and should have been reviewed and confirmed by your Title Company prior to closing on your loan and that we assume no liability for discrepancies in the Legal Description. This report is strictly used for Mortgage purposes in connection with a new Mortgage loan and no other guaranties are either expressed or implied. The buildings and improvements are within the property lines as known to us except as indicated. Easements as shown are per recorded Subdivision Plat unless otherwise indicated and or as disclosed within your title policy and or furnished to us. This Mortgage report was specifically prepared for identification purposes only for the applicants in connection with a new Mortgage loan within 120 days of the date shown, and should NOT be used for refinancing purposes or transferred to any future property owners. The above Company acknowledges that by the acceptance of the Mortgage Report, the liability of Metropolitan Survey, Inc., hereon is limited to the total fees paid for the services rendered. This is not to be used to establish property lines, easement lines, public right-of-way building lines, conformity or non-conformity to State, County or Local ordinances and/or codes; etc. Sheds, outbuildings, fences and driveway locations shown are approximate. To accurately locate the aforementioned structures and property corners, a certified Boundary Survey, not included in this report is necessary to accurately show these improvements and is recommended.

CERTIFIED TO ALL TITLE COMPANIES:

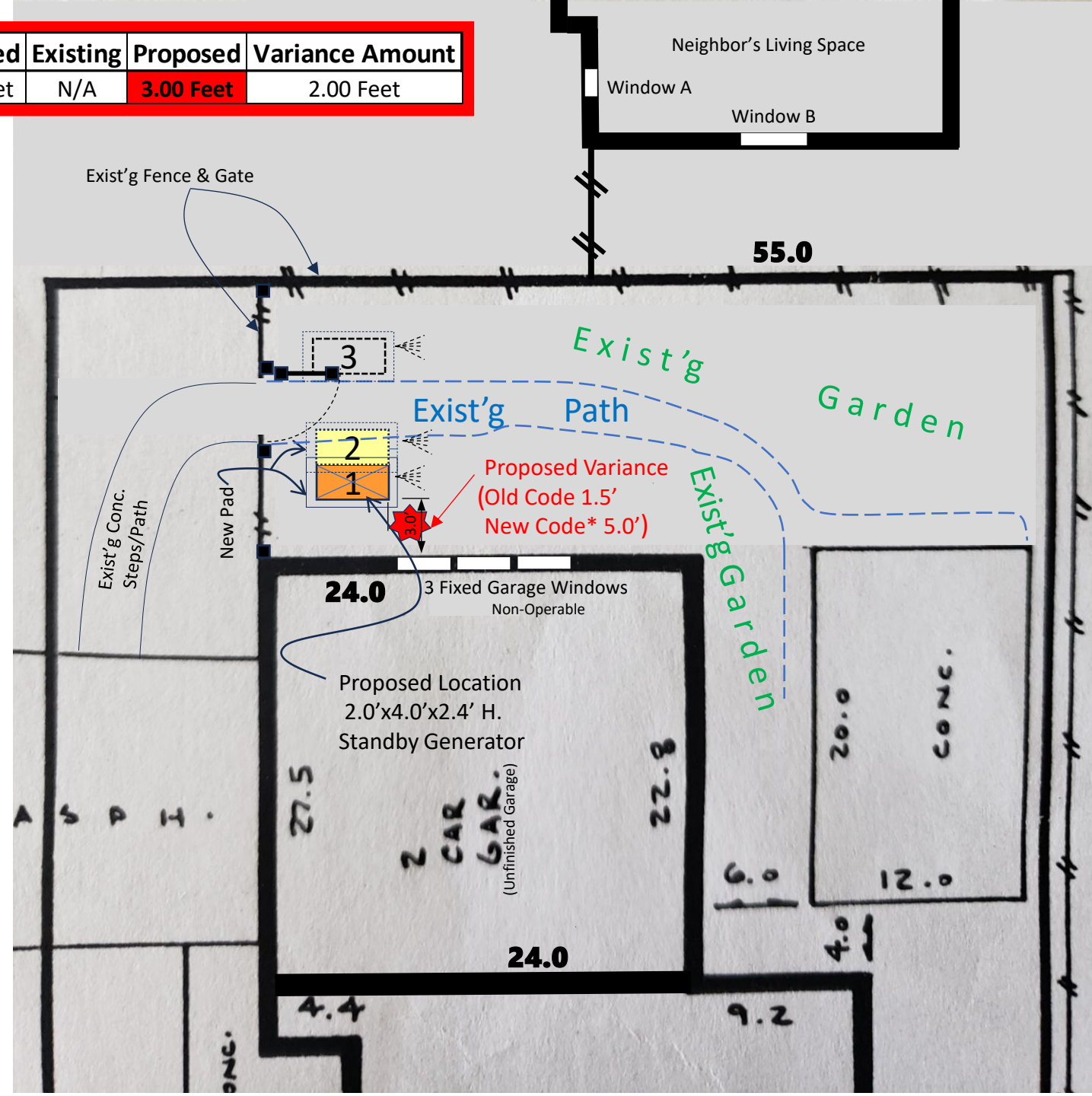
METROPOLITAN SURVEY INC.

1915 E. NINE MILE ROAD, FERDALE, MI 48220



FAX: (248) 547-3537 • PHONE: (248) 547-3077

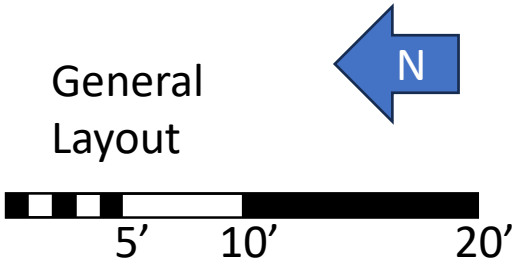
Requested Variance	Required	Existing	Proposed	Variance Amount
Generator from Garage	5.00 Feet	N/A	3.00 Feet	2.00 Feet



3. Alternate Location

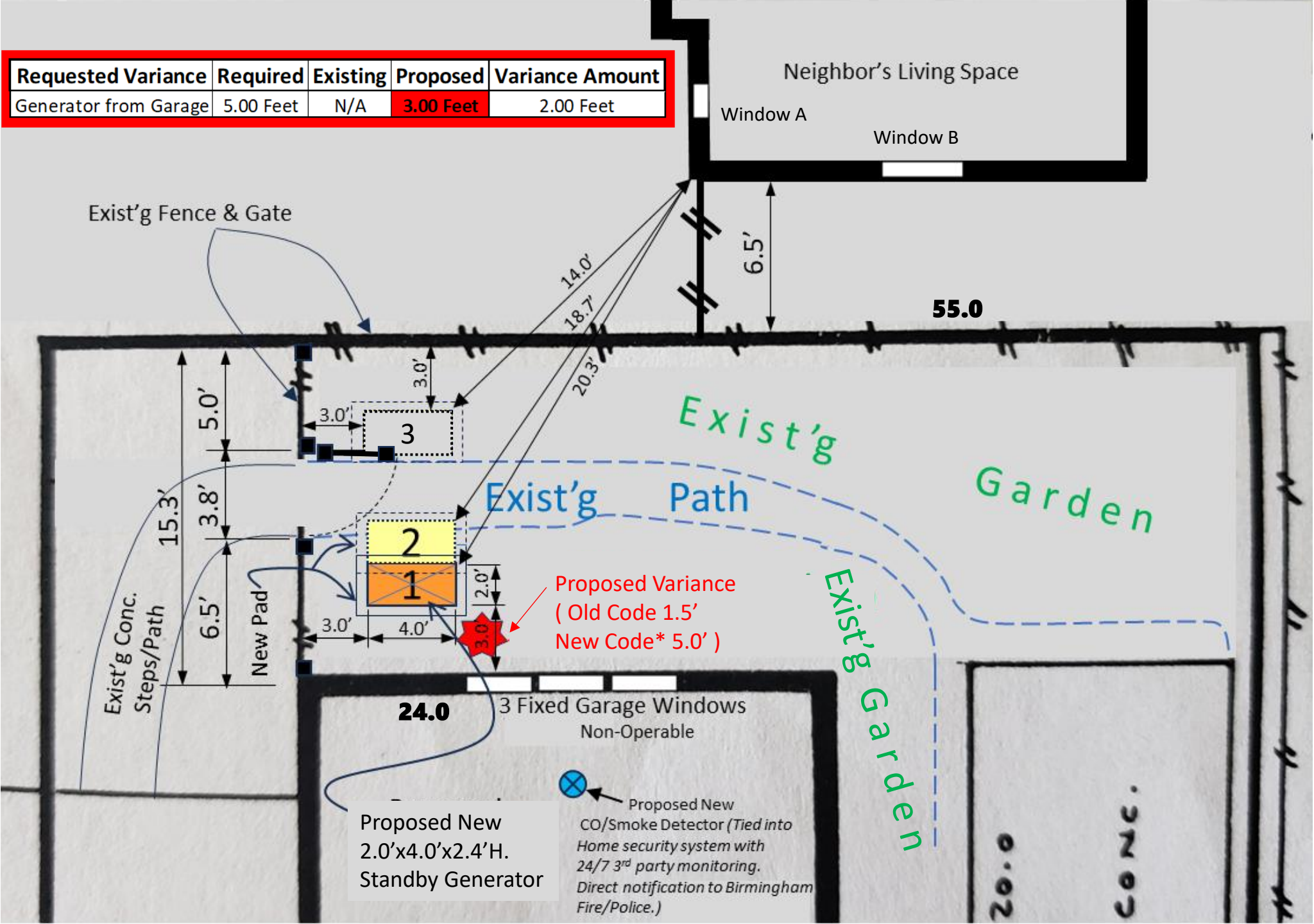
2. Current Code Location

1. Proposed Variance Location



* Spring 2025

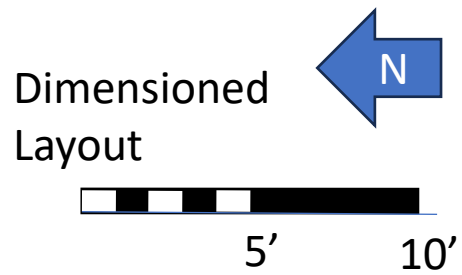
Requested Variance	Required	Existing	Proposed	Variance Amount
Generator from Garage	5.00 Feet	N/A	3.00 Feet	2.00 Feet



3. Alternate Location

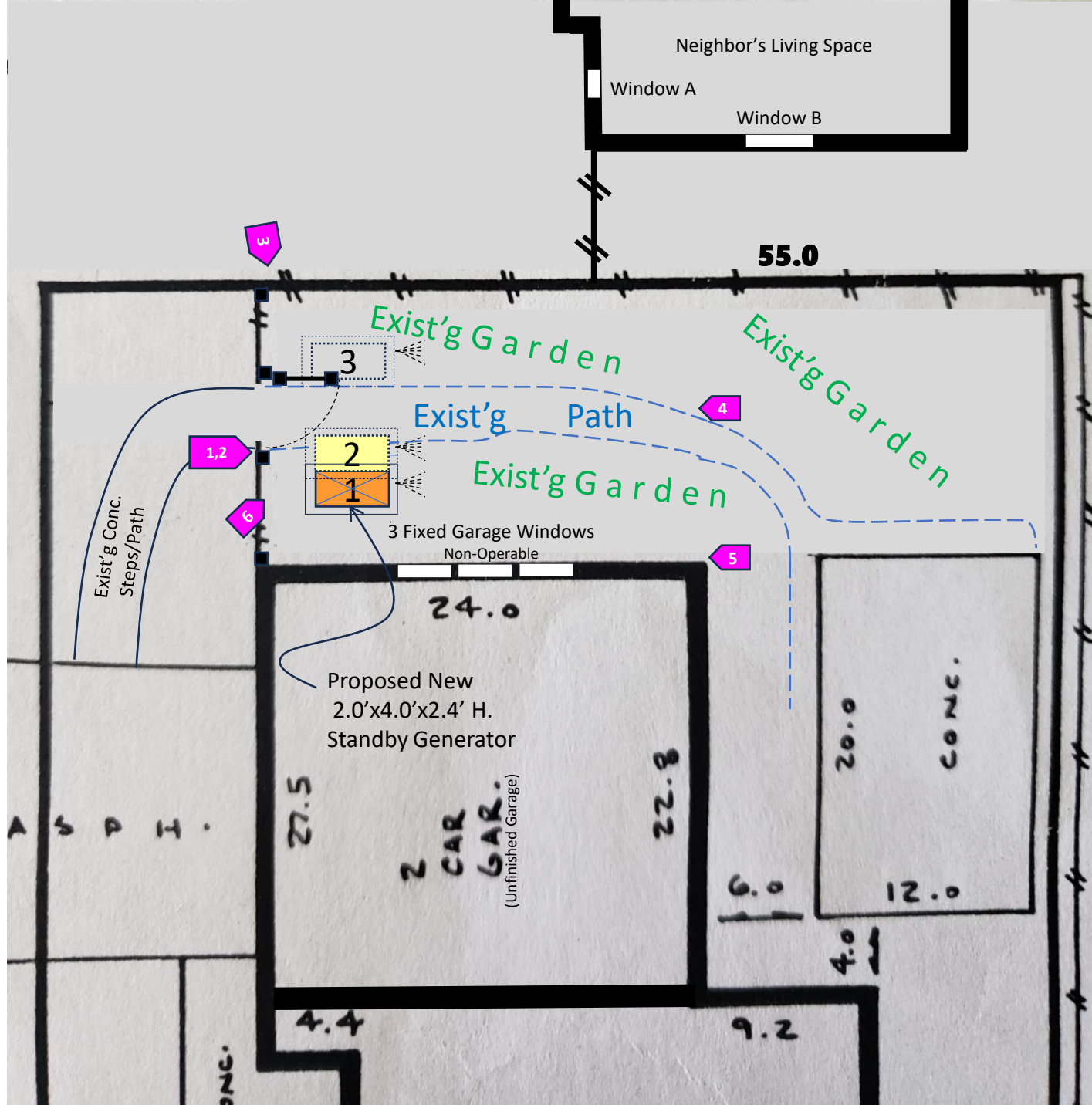
2. Current Code Location

1. Proposed Variance Location



Proposed New CO/Smoke Detector (Tied into Home security system with 24/7 3rd party monitoring. Direct notification to Birmingham Fire/Police.)

* Spring 2025



3. Alternate Location

2. Current Code Location

1. Proposed Variance Location



Photo Key

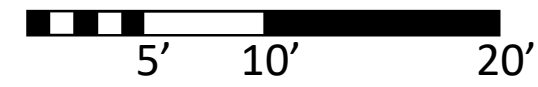




Photo 1

Location 2
Current Code
Generator:
5' from Garage
3' from Fence

Location 1
Proposed Variance
Generator:
3' from Garage*
3' from Fence

*Variance Request:
Reduction of distance
from 5.0' to 3.0'



Photo 2



Brick Garage Wall

Gable Garage Attic Vent- Inoperable and sealed.

3 Fixed Garage Windows – Inoperable.



5/23/2025

Photo 4



5/23/2025

Photo 5



Neighbor's
Window B

Neighbor's
Window A

Specifications

16/20/22 kW

Generator

Model	16 kW	20 kW	22 kW
Rated maximum continuous power capacity (LP)	16,000 Watts*	20,000 Watts*	22,000 Watts*
Rated maximum continuous power capacity (NG)	16,000 Watts*	18,000 Watts*	19,500 Watts*
Rated voltage	240	240	240
Rated maximum continuous load current – 240 volts (LP/NG)	66.7 / 66.7	83.3 / 75.0	91.7 / 81.3
Total Harmonic Distortion	Less than 5%		
Main line circuit breaker	70 amp	90 amp	100 amp
Phase	1		
Number of rotor poles	2		
Rated AC frequency	60 Hz		
Power factor	1.0		
Battery requirement (not included)	12 Volts, Group 26R 540 CCA minimum or Group 35AGM 650 CCA minimum		
Unit weight (lb / kg)	409 / 186	448 / 203	466 / 211
Dimensions (L x W x H) in / cm	48 x 25 x 29 / 121.9 x 63.5 x 73.7		
Sound output in dB(A) at 23 ft (7 m) with generator operating at normal load**	67	67	67
Sound output in dB(A) at 23 ft (7 m) with generator in Quiet-Test™ low-speed exercise mode**	55	55	57
Exercise duration	5 min		

Engine

Engine type	GENERAC G-Force 1000 Series		
Number of cylinders	2		
Displacement	999 cc		
Cylinder block	Aluminum w/ cast iron sleeve		
Valve arrangement	Overhead valve		
Ignition system	Solid-state w/ magneto		
Governor system	Electronic		
Compression ratio	9.5:1		
Starter	12 VDC		
Oil capacity including filter	Approx. 1.9 qt / 1.8 L		
Operating rpm	3,600		
Fuel consumption			
Natural gas	ft ³ /hr (m ³ /hr)		
	1/2 Load	218 (6.17)	204 (5.78)
	Full Load	309 (8.75)	301 (8.52)
Liquid propane	ft ³ /hr (gal/hr) [L/hr]		
	1/2 Load	74 (2.03) [7.70]	87 (2.37) [8.99]
	Full Load	107 (2.94) [11.11]	130 (3.56) [13.48]
			92 (2.53) [9.57]
			142 (3.90) [14.77]

Note: **Fuel pipe must be sized for full load.** Required fuel pressure to generator fuel inlet at all load ranges - 3.5–7 in water column (0.87–1.74 kPa) for NG, 10–12 in water column (2.49–2.99 kPa) for LP gas. For BTU content, multiply ft³/hr x 2500 (LP) or ft³/hr x 1000 (NG). For Megajoule content, multiply m³/hr x 93.15 (LP) or m³/hr x 37.26 (NG).

Controls

Two-line plain text multilingual LCD	Simple user interface for ease of operation.
Mode buttons: AUTO	Automatic start on utility failure. 7 day exerciser.
MANUAL	Start with starter control, unit stays on. If utility fails, transfer to load takes place.
OFF	Stops unit. Power is removed. Control and charger still operate.
Ready to Run/Maintenance messages	Standard
Engine run hours indication	Standard
Programmable start delay between 2–1500 seconds	Standard (programmable by dealer only)
Utility Voltage Loss/Return to Utility adjustable (brownout setting)	From 140-171 V / 190-216 V
Future Set Capable Exerciser/Exercise Set Error warning	Standard
Run/Alarm/Maintenance logs	50 events each
Engine start sequence	Cyclic cranking: 16 sec on, 7 rest (90 sec maximum duration).
Starter lock-out	Starter cannot re-engage until 5 sec after engine has stopped.
Smart Battery Charger	Standard
Charger Fault/Missing AC warning	Standard
Low Battery/Battery Problem Protection and Battery Condition indication	Standard
Automatic Voltage Regulation with Over and Under Voltage Protection	Standard
Under-Frequency/Overload/Stepper Overcurrent Protection	Standard
Safety Fused/Fuse Problem Protection	Standard
Automatic Low Oil Pressure/High Oil Temperature Shutdown	Standard
Overcrank/Overspeed (@ 72 Hz)/rpm Sense Loss Shutdown	Standard
High Engine Temperature Shutdown	Standard
Internal Fault/Incorrect Wiring protection	Standard
Common external fault capability	Standard
Field upgradable firmware	Standard

Rating definitions - Optional Standby: Applicable for supplying backup power for the duration of the utility power outage with correct maintenance performed. No overload capability is available for this rating. (All ratings in accordance with BS5514, ISO3046, UL2200, and DIN6271).

* Maximum kilovolt amps and current are subject to and limited by such factors as fuel BTU/megajoule content, ambient temperature, altitude, engine power and condition, etc. Maximum power decreases approximately 3.5% for each 1,000 ft (304.8 m) above sea level; and also will decrease approximately 1% for each 10 °F (6 °C) above 60 °F (16 °C).

**Sound levels are taken from the front of the generator. Sound levels taken from other sides of the generator may be higher depending on installation parameters.

CASE DESCRIPTION

798 Redding (25-20)

Hearing date: July 8, 2025

Appeal No. 25-20: The owner of the property known **798 Redding**, requests the following variance to construct an addition of the east side of a nonconforming home:

A. Chapter 126, Article 4, Section 4.75 A(1) of the Zoning Ordinance requires that private attached garages must be setback a minimum of 5.00 feet from the portion of the front façade on the first floor of the principal residential building that is furthest setback from the front property line. The proposed is 54.54 feet behind the front of the garage. Therefore, a variance of 59.54 feet is requested.

Staff Notes: The applicant is seeking a variance to construct an addition to the side of the house. The existing garage becomes the need for the variance due to the place of the addition.

This property is zoned R1 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS
Building Official

CHAPTER 126 - ZONING

ARTICLE 8: ENFORCEMENT AND PENALTIES

8.01 The Board of Zoning Appeals

3. Variances.
 - a. The Board of Zoning Appeals shall hear and grant or deny requests for variances from the strict application of the provisions of the Zoning Ordinance where there are practical difficulties or unnecessary hardships in carrying out the strict letter of such chapter. In granting a variance, the Board of Zoning Appeals may attach such conditions as it may deem reasonably necessary to promote the spirit and intent of the Zoning Ordinance. The Board of Zoning Appeals shall not grant any variance unless it first determines that:
 - i. Because of special conditions applicable to the property in question, the provisions of the Zoning Ordinance, if strictly applied, unreasonably prevent the property owner from using the property for a permitted purpose;
 - ii. Literal enforcement of the chapter will result in unnecessary hardship;
 - iii. The granting of the variance will not be contrary to the spirit and purpose of the Zoning Ordinance nor contrary to the public health, safety and welfare; and
 - iv. The granting of the variance will result in substantial justice to the property owner, the owners of property in the area and the general public.

(EACH i-iv must be satisfied)

798 REDDING MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org
APPLICATION FOR THE BOARD OF ZONING APPEALS

Application Date: _____

Hearing Date: 7/8/2025

Received By: _____

Appeal #: 25-20

Type of Variance:	<input type="checkbox"/> Interpretation	<input checked="" type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
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I. PROPERTY INFORMATION:

Address: <u>798 REDDING</u>	Lot Number: <u>LOT 46</u>	Sidwell Number: _____
-----------------------------	---------------------------	-----------------------

II. OWNER INFORMATION:

Name: <u>AMANDA LUNGHAMER</u>				
Address: <u>798 REDDING</u>	City: <u>BIRMINGHAM</u>	State: <u>MI</u>	Zip code: <u>48009</u>	
Email:* <u>AMAY@LUNGHAMER.COM</u>			Phone: <u>248-646-7011</u>	

III. PETITIONER INFORMATION:

Name: <u>FRED CAPALDI</u>	Firm/Company Name: <u>CAPALDI BUILDING CO.</u>			
Address: <u>5050 LEFFDALE BLD</u>	City: <u>ROYAL OAK</u>	State: <u>MI</u>	Zip code: <u>48073</u>	
Email: <u>FRED@CAPALDIBUILDING.COM</u>			Phone: <u>248-789-1125</u>	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. Applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$360.00** for single family residential; **\$560.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example				
Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

V. REQUIRED INFORMATION CHECKLIST:

- One original and nine copies of the signed application
- One original and nine copies of the signed letter of practical difficulty and/or hardship
- One original and nine copies of the certified survey
- 10 folded copies of site plan and building plans including existing and proposed floor plans and elevations
- If appealing a board decision, 10 copies of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: Amanda Lunghamer Date: 6/11/25

Signature of Petitioner: F. Capaldi Date: 6/11/25

**CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE**

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
 - c) For a motion to grant or deny an appeal of a decision or order by an administrative official or board, the motion must receive four (4) affirmative votes to be approved.
2. When a motion made is to approve or deny a petitioner's request and if there is a tie vote, then the vote results in no action by the board and the petitioner shall be given an opportunity to have his or her request heard the next regularly scheduled meeting when all the members are present.

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
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ARTICLE II - Results of an Appeal

- A. The Board may reverse, affirm, vary or modify any order, requirement, decision or determination as in its opinion should be made, and to that end, shall have all the powers of the officer from whom the appeal has been taken.
- B. The decisions of the Board shall not become final until the expiration of five (5) days from the date of entry of such orders or unless the Board shall find that giving the order immediate effect is necessary for the preservation of property and/or personal rights and shall so certify on the record.
- C. Whenever any variation or modification of the Zoning Ordinance is authorized by resolution of the BZA, a Certificate of Survey must be submitted to the Community Development Department with the building permit application. A building permit must be obtained within one year of the approval date.
- D. Failure of the appellant, or his representative, to appear for his appeal hearing will result in the appeal being adjourned to the next regular meeting. If, after notice, the appellant fails to appear for the second time, it will result in an automatic withdrawal of the appeal. The appellant may reapply to the BZA.
- E. Any applicant may, with the consent of the Board, withdraw his application at any time before final action.
- F. Any decision of the Board favorable to the applicant is tied to the plans submitted, including any modifications approved by the Board at the hearing and agreed to by the applicant, and shall remain valid only as long as the information or data provided by the applicant is found to be correct and the conditions upon which the resolution was based are maintained.

ARTICLE III - Rehearings

- A. No rehearing of any decision of the Board shall be considered unless new evidence is submitted which could not reasonably have been presented at the previous hearing or unless there has been a material change of facts or law.
-

B. Application or rehearing of a case shall be in writing and subject to the same rules as an original hearing, clearly stating the new evidence to be presented as the basis of an appeal for rehearing.

I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

June 11, 2025

City of Birmingham
Board of Zoning Appeals

Re: 798 Redding
Variance Request

Dear Board Members,

Mrs. Linghamer would like to add a small room to the East Side of her house. The Existing Garage on the front of her house is NOT behind the main façade of the house (already Existing Non-Conforming) and now with the Room Addition to the East, the furthest front wall of the house is being moved back increasing the Non-Conformity of the Front Garage.

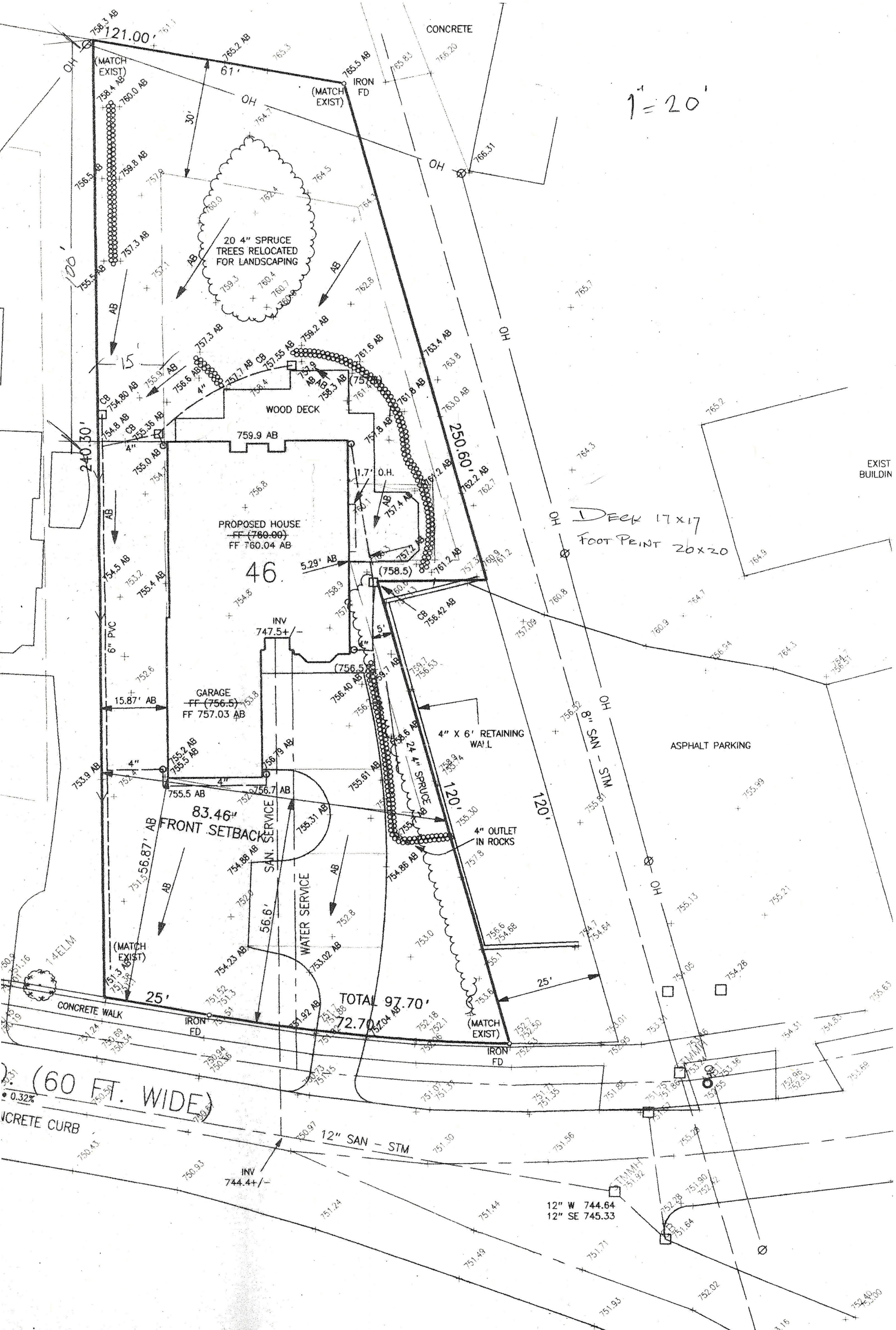
The location of the Garage with this Addition will be 59.54' out of conformance, requiring the 59.54' Variance we are requesting. The Existing Garage is 39.66' out of conformance.

Because the Existing Garage is on the front of the house (which doesn't meet the current Zoning Ordinance), strict application of the newer Garage requirements does not permit the homeowner to construct anything on the sides of the house, otherwise meeting all of other zoning requirements, restricting her use of her property. It is not self-created and there is no injustice to the neighbor on that side since it is a commercial property and heavily screened.

We appreciate your assistance in this appeal.
Respectfully Submitted,

Fred Capaldi
Capaldi Building Co.

1" = 20'



PROPOSED HOUSE
FF (780.00)
FF 760.04 AB

GARAGE
FF (756.5)
FF 757.03 AB

46.

FRONT SETBACK
83.46' AB

TOTAL 97.70'

(60 FT. WIDE)

DECK 17x17
FOOT PRINT 20x20

ASPHALT PARKING

EXIST BUILDING

12" W 744.64
12" SE 745.33

INV 744.4+/-

INV 747.5+/-

121.00'

CONCRETE

(MATCH EXIST)

(MATCH EXIST)

(MATCH EXIST)

(MATCH EXIST)

CONCRETE CURB

12" SAN - STM

OH 8" SAN - STM

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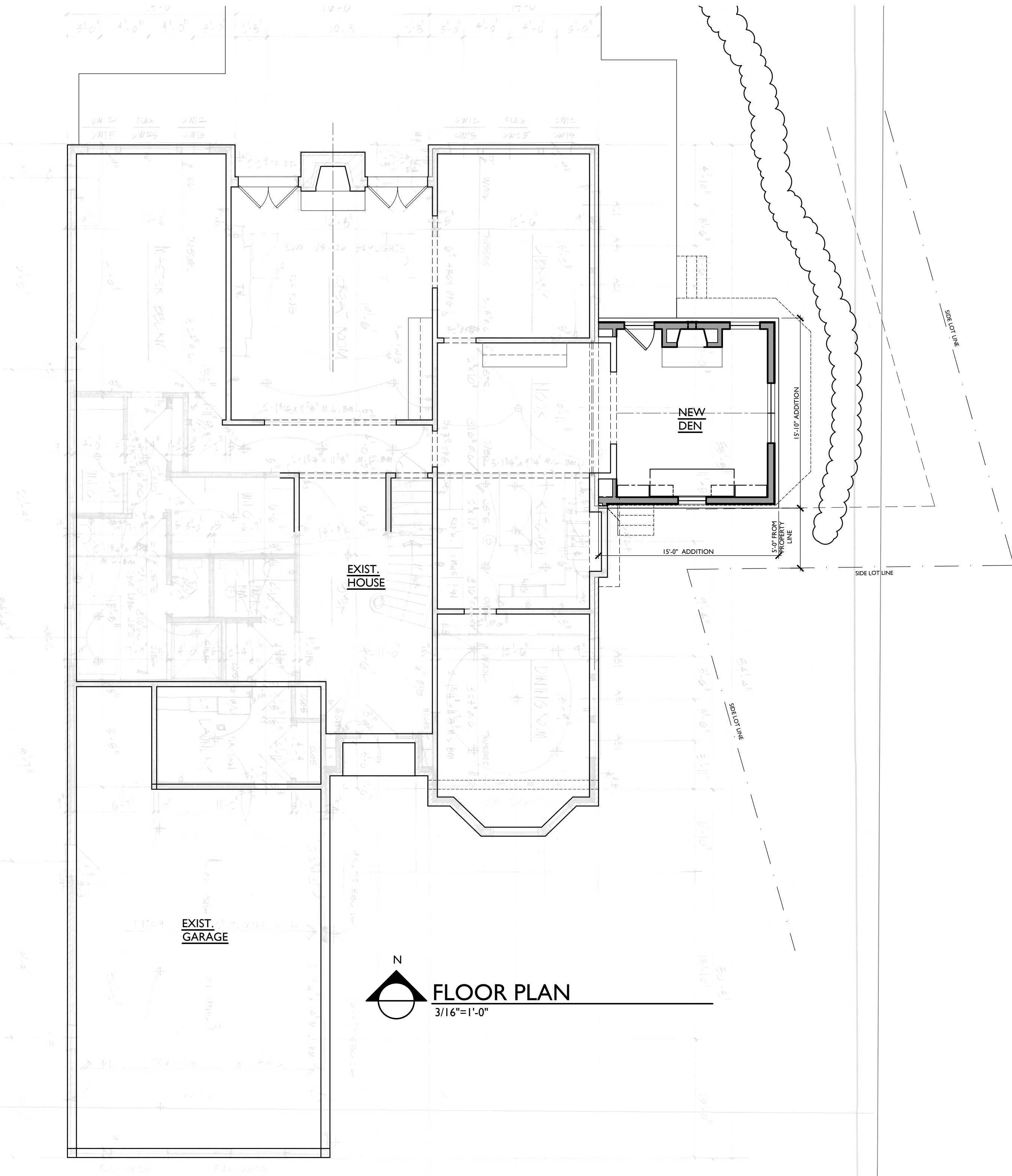
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SOUTH ELEVATION
1/4"=1'-0"



FLOOR PLAN
3/16"=1'-0"

LUNGHAMER RESIDENCE

798 Redding, Birmingham, Mi

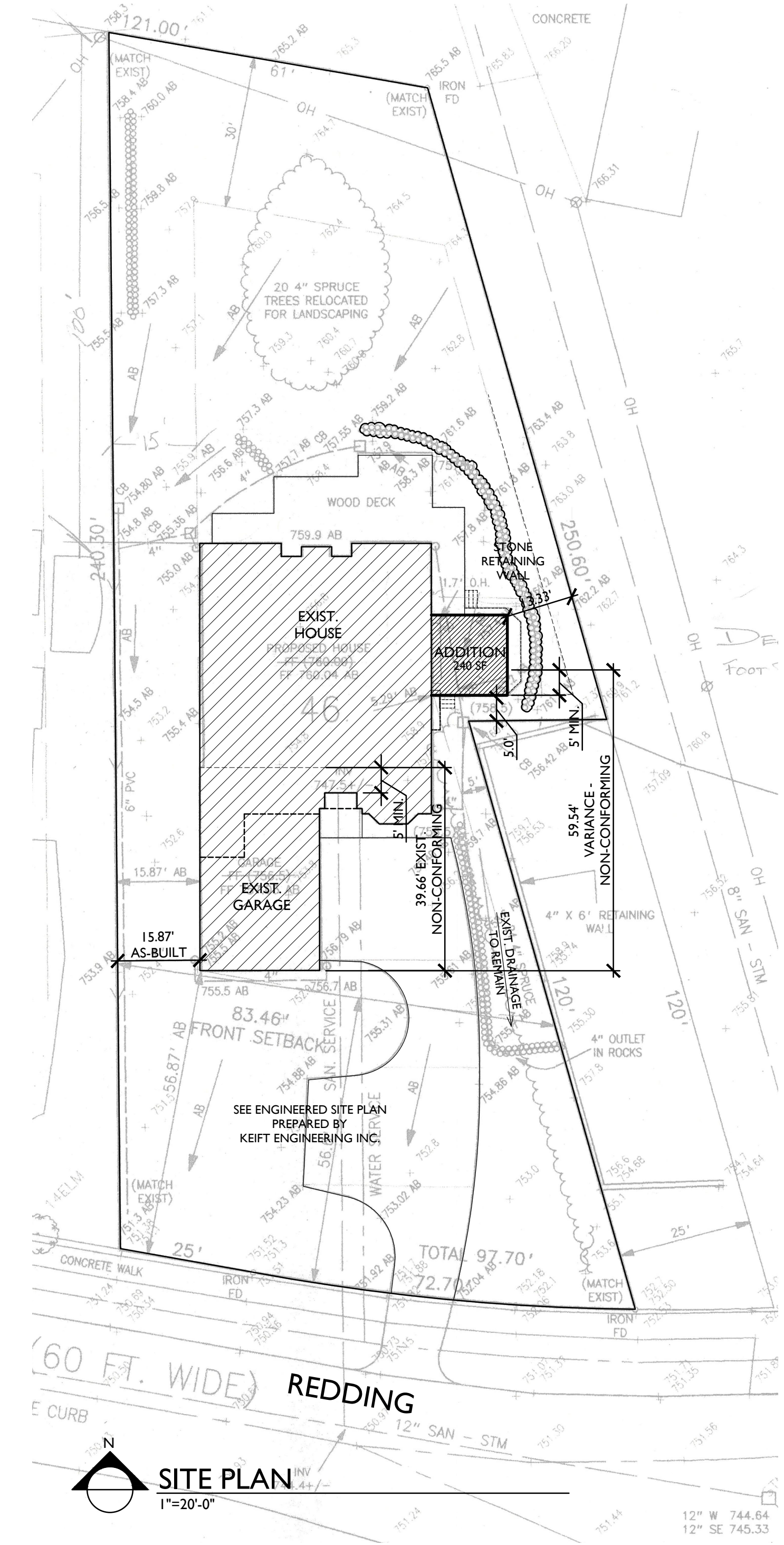
Site Data:

ADDRESS	798 REDDING	
ZONED	R-1A (SINGLE FAMILY RESIDENTIAL)	
LOT AREA	± 19,900 SF	
LOT WIDTH	83.46' (AT FRONT SETBACK)	
ZONING DATA		
SETBACKS - HOUSE		
FRONT SETBACK - AVERAGE OF HOUSES WITHIN 200'	REQUIRED	PROPOSED
LEAST SIDE	5.0' MIN.	EXIST. TO REMAIN 5.0' TO ADDITION (SOUTH SIDE) 13.31' TO ADDITION (EAST SIDE)
OTHER SIDE - 10% (83.46) LOT WIDTH OR 9.0'	9.0' MIN.	15.87' EXISTING (WEST SIDE)
TOTAL SIDES - 35% (83.46) LOT WIDTH:	20.85' MIN.	29.2' PROPOSED

FLOOR AREA SUMMARY			
	EXISTING	ADDITION	TOTAL
GROUND FLOOR	2,345 SF	240 SF	2,585 SF
SECOND FLOOR	837 SF	0 SF	837 SF
TOTAL HOUSE	3,182 SF	240 SF	3,422 SF

LOT COVERAGE	
EXIST. HOUSE FOOTPRINT	2,345 SF
ADDITION FOOTPRINT	240 SF
EXIST. GARAGE FOOTPRINT	470 SF
TOTAL COVERAGE AREA:	3,355 SF
LOT AREA COVERAGE	3,355 SF / ± 19,900 SF = 16.8%

VARIANCE CHART			
ITEM	REQUIRED	PROPOSED	VARIANCE AMOUNT
GARAGE SETBACK FROM PORTION OF FRONT FACADE FURTHER SETBACK FROM FRONT PROPERTY LINE	5' MIN.	59.54'	59.54'



SITE PLAN
1"=20'-0"

LUNGHAMER ADDITION
798 Redding
Birmingham, Mi

Glenda MEADS Architects
114 S. OLD WOODWARD AVE. SUITE 5, BIRMINGHAM, MI 48009
T (248) 220-4998 M (248) 514-2971 glenda@glendameads.com

SITE, & GROUND FLOOR PLAN, & FRONT ELEV.

- 6-3-24 PRE-LIM DESIGN
- 6-11-24 REVISED DESIGN
- 10-7-24 PERMIT/QUOTE
- 5-9-25 REVISED
- 6-3-25 BLDG. PERMIT
- 6-10-25 BZA

A000



CASE DESCRIPTION

1291 Washington (25-21)

Hearing date: July 8, 2025

Appeal No. 25-21: The owner of the property known **1291 Washington**, requests the following variance to construct a deck in the side yard:

A. Chapter 126, Article 2, Section 2.08 of the Zoning Ordinance allows a maximum of 30% of lot coverage. The required is 30.00% (2496.00 sq. ft.). The proposed is 31.83% (2648.75 sq. ft.). Therefore, a variance of 1.83% (152.75 sq. ft.) is requested.

Staff Notes: The applicant is seeking a variance to construct a proposed deck to the new home that is currently under construction which has reached the maximum permitted lot coverage.

This property is zoned R2 – Single family residential.

Jeff Zielke, NCIDQ, LEED AP, COSS
Building Official

CHAPTER 126 - ZONING

ARTICLE 8: ENFORCEMENT AND PENALTIES

8.01 The Board of Zoning Appeals

3. Variances.
 - a. The Board of Zoning Appeals shall hear and grant or deny requests for variances from the strict application of the provisions of the Zoning Ordinance where there are practical difficulties or unnecessary hardships in carrying out the strict letter of such chapter. In granting a variance, the Board of Zoning Appeals may attach such conditions as it may deem reasonably necessary to promote the spirit and intent of the Zoning Ordinance. The Board of Zoning Appeals shall not grant any variance unless it first determines that:
 - i. Because of special conditions applicable to the property in question, the provisions of the Zoning Ordinance, if strictly applied, unreasonably prevent the property owner from using the property for a permitted purpose;
 - ii. Literal enforcement of the chapter will result in unnecessary hardship;
 - iii. The granting of the variance will not be contrary to the spirit and purpose of the Zoning Ordinance nor contrary to the public health, safety and welfare; and
 - iv. The granting of the variance will result in substantial justice to the property owner, the owners of property in the area and the general public.

(EACH i-iv must be satisfied)

1291 WASHINGTON MAP



CITY OF BIRMINGHAM
Community Development - Building Department
151 Martin Street, Birmingham, MI 48009
Community Development: 248-530-1850
Fax: 248-530-1290 / www.bhamgov.org
APPLICATION FOR THE BOARD OF ZONING APPEALS

Received Date: _____

Hearing Date: _____

Received By: _____

Appeal #: _____

Type of Variance:	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Dimensional	<input type="checkbox"/> Land Use	<input type="checkbox"/> Sign	<input type="checkbox"/> Admin Review
--------------------------	---	--------------------------------------	-----------------------------------	-------------------------------	---------------------------------------

I. PROPERTY INFORMATION:

Address:	Lot Number:	Sidwell Number:
----------	-------------	-----------------

II. OWNER INFORMATION:

Name:			
Address:	City:	State:	Zip code:
Email:*		Phone:	

III. PETITIONER INFORMATION:

Name:	Firm/Company Name:		
Address:	City:	State:	Zip code:
Email:		Phone:	

IV. GENERAL INFORMATION:

The Board of Zoning Appeals typically meets the second Tuesday of each month. COMPLETE digital applications along with supporting documents must be submitted on or before the 12th day of the month preceding the next regular meeting. Please note that incomplete applications will not be accepted.

To insure complete applications are provided, appellants must schedule a pre-application meeting with the Building Official, Assistant Building Official and/or City Planner for a preliminary discussion of their request and the documents that will be required to be submitted. Staff will explain how all requested variances must be highlighted on the survey, site plan and construction plans. Each variance request must be clearly shown on the survey and plans including a table as shown in the example below. All dimensions to be shown in feet measured to the second decimal point.

The BZA application fee is **\$750.00** for single family residential; **\$950.00** for all others. This amount includes a fee for a public notice sign which must be posted at the property at least 15-days prior to the scheduled hearing date.

Variance Chart Example


Requested Variances	Required	Existing	Proposed	Variance Amount
Variance A, Front Setback	25.00 Feet	23.50 Feet	23.50 Feet	1.50 Feet
Variance B, Height	30.00 Feet	30.25 Feet	30.25 Feet	0.25 Feet

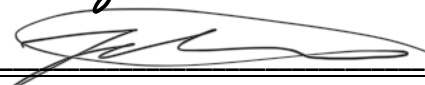
V. REQUIRED INFORMATION CHECKLIST:

- Please provide the following in your electronic submission:**
- Completed and signed application
 - Signed letter of practical difficulty and/or hardship
 - Certified survey
 - Building plans including existing and proposed floor plans and elevations
 - If appealing a board decision, provide a copy of the minutes from any previous Planning, HDC, or DRB board meeting

VI. APPLICANT SIGNATURE

Owner hereby authorizes the petitioner designated below to act on behalf of the owner.
By signing this application, I agree to conform to all applicable laws of the City of Birmingham. All information submitted on this application is accurate to the best of my knowledge. Changes to the plans are not allowed without approval from the Building Official or City Planner.
*By providing your email to the City, you agree to receive news and notifications from the City. If you do not wish to receive these messages, you may unsubscribe at any time.

Signature of Owner: _____  _____ Date: _____

Signature of Petitioner: _____  _____ Date: _____

CITY OF BIRMINGHAM
BOARD OF ZONING APPEALS
RULES OF PROCEDURE

ARTICLE I - Appeals

- A. Appeals may be filed under the following conditions:
1. A property owner may appeal for variance, modification or adjustment of the requirements of the Zoning Ordinance.
 2. A property owner may appeal for variance, modification or adjustment of the requirements of the Sign Ordinance.
 3. Any aggrieved party may appeal the decision of the Planning Board and/or the Building Official in accordance with the City of Birmingham Zoning Ordinance, Article Eight, Section 8.01 (D) Appeals. If an appellant requests a review of any determination of the Building Official, a complete statement setting forth the facts and reasons for the disagreement with the Building Official's determination shall include the principal point, or points on the decision, order or section of the ordinance appealed from, on which the appeal is based.
- B. Procedures of the Board of Zoning Appeals (BZA) are as follows:
1. Regular BZA meetings, which are open to the public, shall be held on the second Tuesday of the month at 7:30 P.M. provided there are pending appeals. There will be a maximum of seven appeals heard at the regular meeting which are taken in the order received. If an appeal is received on time after the initial seven appeals have been scheduled, it will be scheduled to the next regular meeting.
 2. All applications for appeal shall be submitted to the Community Development Department on or before the 12th day of the month preceding the next regular meeting. If the 12th falls on a Saturday, Sunday, or legal holiday, the next working day shall be considered the last day of acceptance.
 3. All property owners and occupants within 300 feet of the subject property will be given written notice of a hearing by the City of Birmingham.
 4. See the application form for specific requirements. If the application is incomplete, the BZA may refuse to hear the appeal. The Building Official or City Planner may require the applicant to provide additional information as is deemed essential to fully advise the Board in reference to the appeal. Refusal or failure to comply shall be grounds for dismissal of the appeal at the discretion of the Board.
 5. In variance requests, applicants must provide a statement that clearly sets forth all special conditions that may have contributed to a practical difficulty that is preventing a reasonable use of the property.

6. Where the Birmingham Zoning Ordinance requires site plan approval of a project by the City Planning Board before the issuance of a building permit, applicants must obtain preliminary site plan approval by the Planning Board before appeal to the BZA for a variance request. If such appeal is granted by the BZA, the applicant must seek final site plan and design review approval from the Planning Board before applying for a building permit.
7. An aggrieved party may appeal a Planning Board decision. Such appeal must be made within 30 days of the date of the decision. The BZA, in its discretion, may grant additional time in exceptional circumstances.
8. Appeals from a decision of the Building Official shall be made within 30 days of the date of the order, denial of permit, or requirement or determination contested. The BZA, in its discretion, may grant additional time in exceptional circumstances.
9. An appeal stays all proceedings in accordance with Act #110, Public Acts of 2006, Article VI, Section 125.3604 (3).

C. The order of hearings shall be:

1. Presentation of official records of the case by the Building Official or City Planner as presented on the application form.
2. Applicant's presentation of his/her case—the applicant or his/her representative must be present at the appeal hearing.
3. Interested parties' comments and view on the appeal.
4. Rebuttal by applicant.
5. The BZA may make a decision on the matter or request additional information.

D. Motions and Voting

1. A motion is made to either grant or deny a petitioner's request
 - a) For a motion to grant or deny a non-use variance request, the motion must receive four (4) affirmative votes to be approved.
 - b) For a motion to grant or deny a use variance request, the motion must receive five (5) affirmative votes to be approved.
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-
-

3. When there are less than seven (7) members of the board present for a meeting, then a petitioner requesting a use variance shall be given an opportunity at the beginning of the meeting to elect to have it heard at the next regularly scheduled meeting.
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-
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I certify that I have read and understand the above rules of procedure for the City of Birmingham Board of Zoning Appeals.



Signature of Applicant

G

D

L

Greater Detroit Landscape Co.

21000 Fairfield • Warren, Michigan 48089 • (586) 777-2000 • Fax (586) 777-2095

June 9, 2025

To Birmingham BZA Board,

Donald and Jean Kunz at 1291 Washington, who are building a retirement home, have constructed the home with a first floor master bedroom, to create a home that they can age in. The home has only one egress door to the backyard off of the kitchen, this door exits onto what the city considers the side yard. We would also like to note that the proposed deck does not encroach into the 6.8' sideboard setback on the north side of the home.

We are requesting for approval from the BZA to construct a 16'x11'9" deck at 6" below the finish floor of their new home, of which 13'x11'9" is considered to be in the side yard.. The deck would be approximately 18" above finish grade.

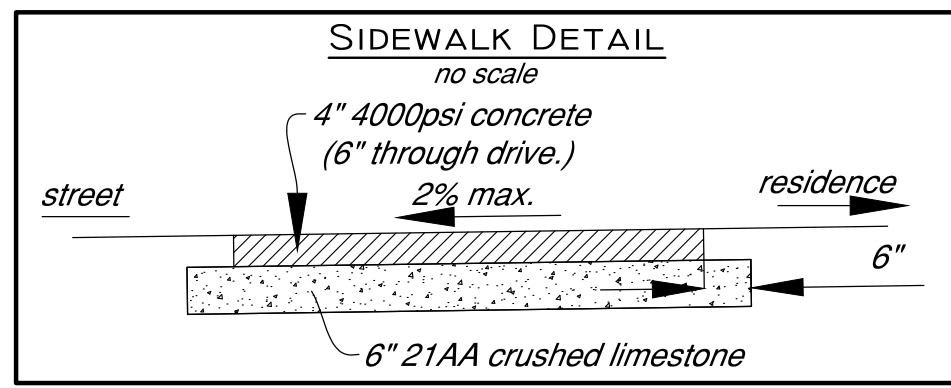
We have looked at several alternatives and have spoken with Jeff Zielke, in the Building Department. Although the deck requires your approval, it seems like the best option since it will require no drastic grade changes to the yard. We are also proposing to install a perimeter drain tile to pickup drainage towards the neighbors yards to the north and east and will be planting a hedge of 8/10' tall Arborvitae to screen this area from the neighbors. The deck would be constructed with a treated wood structure with post footings and surface will be of a synthetic material such as a TREX. The exact finish material has not been determined yet.

We appreciate you hearing our request.

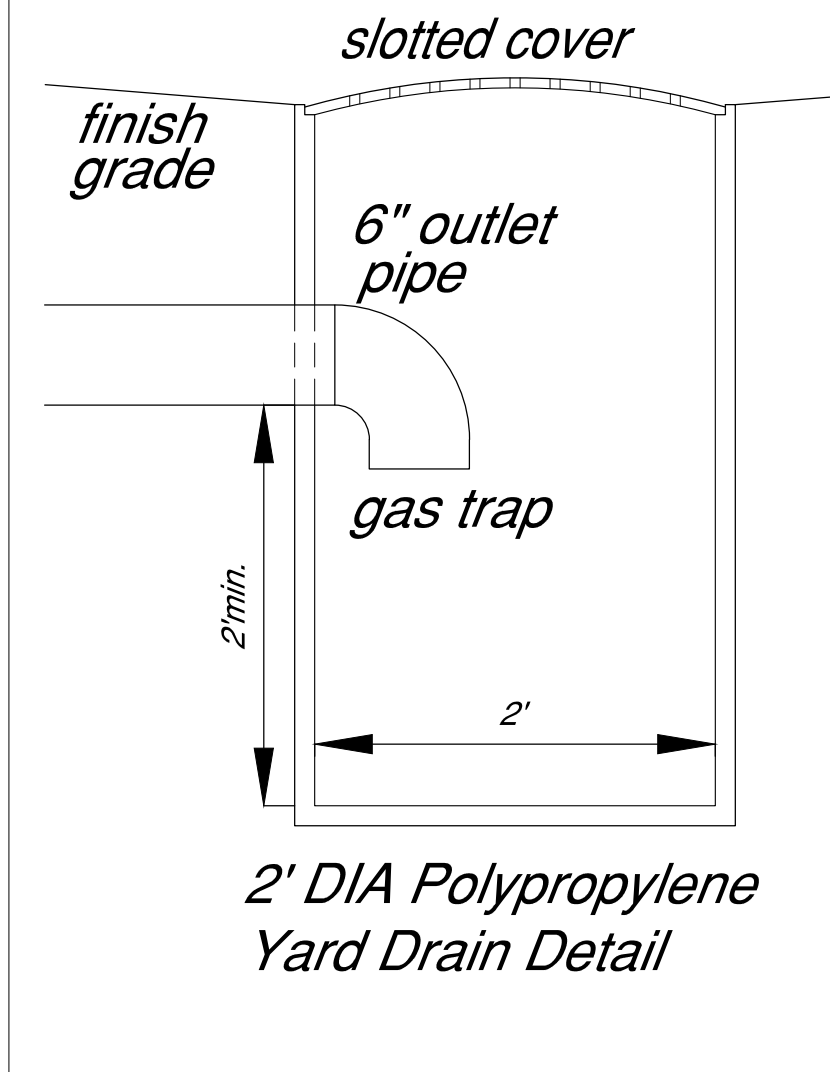
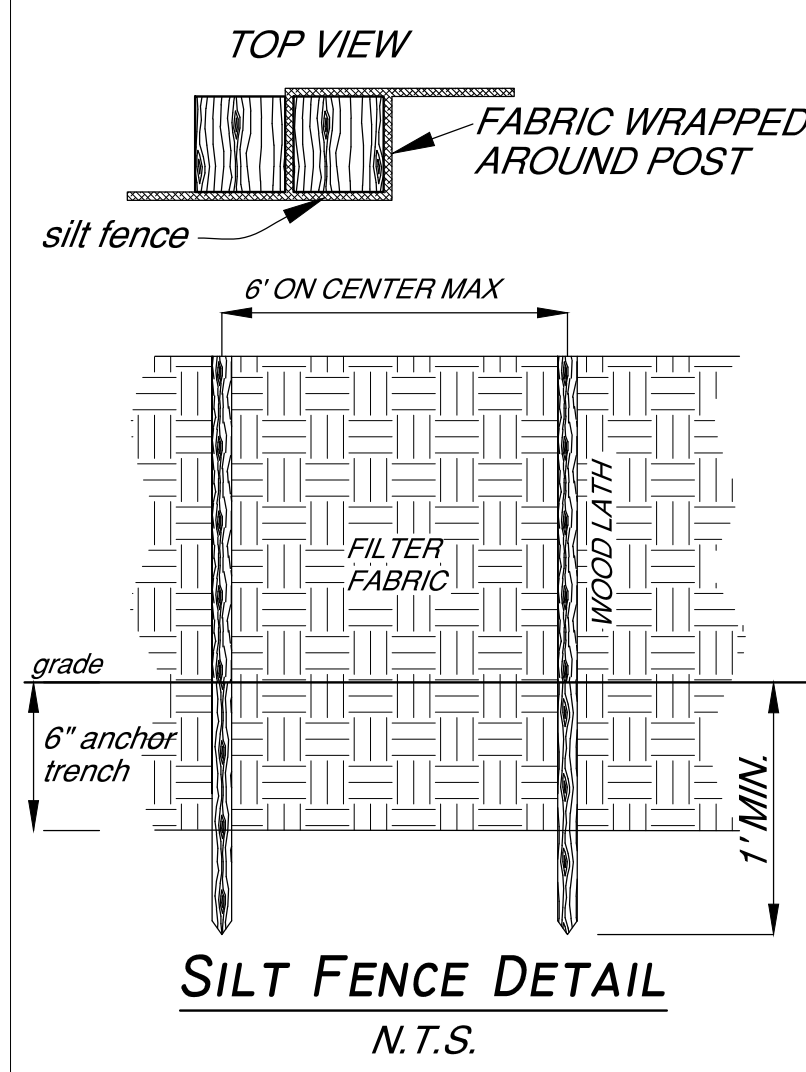
Respectfully,

Matt Whetstone

Note: Sidewalks must be constructed according to ADA Standards



Note: Fabric bag will be installed at nearest downstream catch basin during construction. It is the responsibility of the contractor to maintain that all soil erosion measures remain in good working condition throughout duration of project.



LOT 161

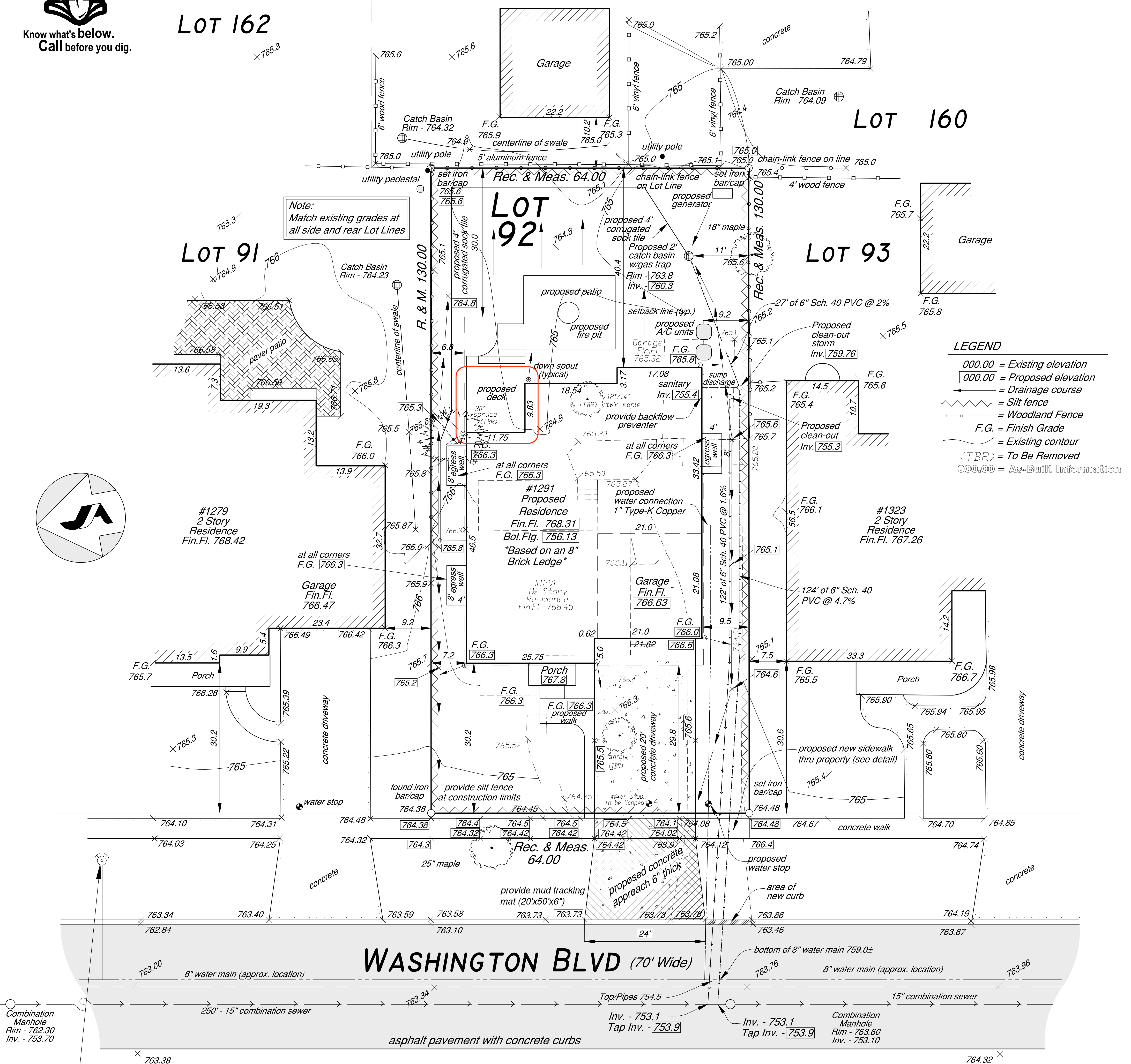
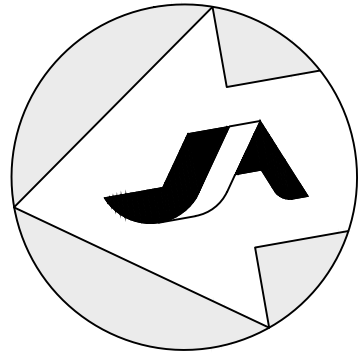
LOT 162

LOT 160

LOT 91

LOT 92

LOT 93



LEGEND

- 000.00 = Existing elevation
- 000.00 = Proposed elevation
- = Drainage course
- = Silt fence
- = Woodland Fence
- F.G. = Finish Grade
- = Existing contour
- (TBR) = To Be Removed
- 000.00 = As-Built Information

WASHINGTON BLVD (70' Wide)

Setback information on houses within 200' - on Washington BLVD.

Address	Setback
#1217 (under const.)	30.5
#1245	29.0
#1253	30.0
#1279	30.5
#1323	30.5
#1347	30.6
#1391	27.8
Average	29.8

confirm minimum setbacks with municipality

Zoning:
R-2 Single-Family Residential

Setbacks:
Front - 29.8'
Side - 5'
Side total - 16.0'
Rear - 30'

Check title policy for subdivision deed restrictions that may affect setback requirements.

Front Yard Coverage:
Front Yard = 1,932 Square Feet
Pavement = 692 Square Feet or 35.8%

Lot Coverage:
Lot = 8,320 Square Feet
House & Porch = 2,567 Square Feet or 30.9%
Deck & Patio = 491 Square Feet or 5.9%
Driveway & Walk = 844 Square Feet or 10.1%
Total Impervious = 3,902 Square Feet or 46.9%

Note:
A tree permit will be required for removal of City tree in ROW (a 25" DBH Sugar Maple) and grind stump. Replacement tree should be a 3-3.5" DBH White Oak - location ~8' north of proposed driveway approach - following the majority of construction activities.

Note:
The Builder is responsible for resolving any drainage problems on adjacent properties that are the result of construction activities.

CITY OF BIRMINGHAM DATUM
TOP BOLT ON HYDRANT
ELEVATION = 766.94
REFERENCES BIRMINGHAM BENCHMARK #2
ELEVATION = 767.438

LEGAL DESCRIPTION TAX ID - 19-36-327-009
LOT 92 OF "BIRMINGHAM-LINCOLN LOTS SUBDIVISION", PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 36, TOWN 2 NORTH, RANGE 10 EAST, BLOOMFIELD TOWNSHIP, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 17 OF PLATS ON PAGE 19, AND IN LIBER 37 OF PLATS ON PAGE 5, OAKLAND COUNTY RECORDS. LOT CONTAINS 8,320 SQUARE FEET. SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

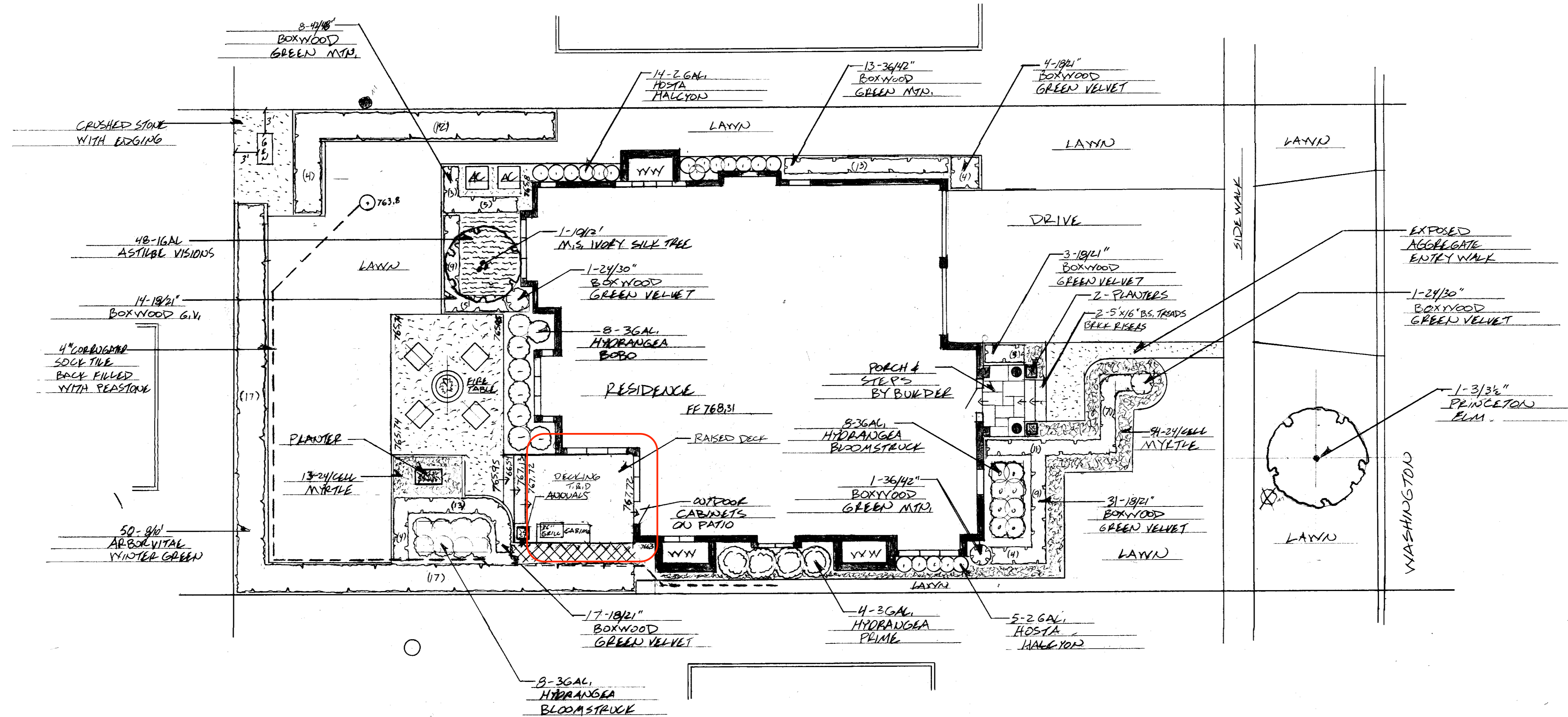
Added Landscaping - 28 MAY 2025
Revised - 12 JUNE 2025

PLOT PLAN

Prepared For: Vervisch Homes
583 Madison
Birmingham, MI 48009
(248) 515-6730

Jekabson & Associates, P.C.
Professional Land Surveyors
1320 Goldsmith, Plymouth, MI 48170
(734) 414-7200 / (734) 455-8000
by: *J. Jekabson*

DATE: 08 Oct. 24
JOB NO: 24-02-007
SCALE: 1" = 10'
DRAWN: AAH
CHECKED: JGE
SHEET: 1 OF 1



NOTES:

- * WILL NEED GAS LINE RUN TO GRILL & FIREPIT
- * WILL NEED ELECTRICAL RUN TO GRILL
- * EXPOSED AGGREGATE UPPER PATIO & STEPS TO HAVE FINISHED THICKER FACE

DRAWN BY: *MLJW*
 DATE: *MARCH 2025*
 SCALE: $\frac{1}{8}'' = 1'-0''$
 PLAN #: *00-06-25*

REVISIONS
 1-16-25
 5-3-25
 5-23-25
 6-11-25

G D L
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